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Revised: May 20, 2016

PUD Area Plan / Rezoning Review For City of Dexter, Michigan

Applicant:	MMB Equities, LLC – Steve Brouwer
Project Name:	Grandview Commons
Location:	7931 Grand Street (08-06-155-001) 7905 Grand Street (08-06-427-001) Vacant Baker Road (08-06-427-002) 7961 Grand Street (08-08-06-285-004)
Current Zoning:	I-1, Limited Industrial / Village Residential / Baker Road Corridor
Plan Date:	January 27, 2016
Revised Date:	May 6, 2016
Action Requested:	Approval of Area PUD Plan. Approval of an Area Plan shall indicate acceptance of uses, building locations in the case of a PUD of eighty (80) acres or less in area, layout of streets, dwelling unit count and type, floor areas, densities, and all other elements of the area plan. Approval of the Area Plan also allows the applicant to apply for final site plan approval (Section 19.08 D. 3.).
Required Information:	There are two primary components to PUD Area Plan approval. The first is a review and analysis of the “Impact Assessment” as described in Section 19.08 A. 4. f. (2). The second component is the preliminary site plan is outlined in Section 19.08 B. 1. We will note any informational deficiencies in the body of this review.

PROJECT AND SITE DESCRIPTION

The applicant is requesting rezoning of the subject site located at the southwest quadrant Grand and Baker Streets intersection to permit a PUD with underlying VR, Village Residential zoning in order to facilitate a multiple-family development with varying design, layout, and structure types. The intent is to redevelop an existing industrial brownfield and adjacent residential parcel to provide a development with a variety of housing options, as well as to provide the environmental clean-up and demolition of an existing industrial facility within the downtown area.

The applicant is proposing to demolish three (3) existing industrial buildings and 1-story house and garage (newly acquired western parcel) in order to develop the 8.57 acre site with a variety of housing types to include: five (5) 8-unit buildings; three (3) 4-unit buildings; five (5) 4-unit townhouse buildings, and four (4) duplexes totaling 80 dwelling units. Twenty (20) one-bedroom units; fifty (50) two-bedroom units; and ten (10) three-bedroom units are proposed. Each unit will have access to a private garage space. With the addition of the western property containing approximately 1.44 acres, the applicant has increased the number of units from 68 units in the original proposal to 80 units on the revised plan.

Initially, the project was demonstrated be completed in two (2) phases. The most recent submittal depicts construction of the development in three (3) phases – starting from Baker Road and moving westward.

Figure 1. – Aerial Photograph



NEIGHBORING ZONING AND LAND USE

The subject site is located along the Baker Road corridor south of Downtown Dexter. The properties encompassing the subject site are zoned I-1, Limited Industrial, and are currently developed as an industrial use.

Direction	Zoning	Use
North	VR, Village Residential	Residential
South	VR, Village Residential / PP, Public Park	Residential/Mill Creek
East	VR, Village Residential / R-1B One-Family Residential –Small Lot / C-1, General Business	Residential / Commercial
West	PP, Public Park / VR, Village Residential	Vacant/Mill Creek / Residential

The proposed multiple-family development is more compatible with the surrounding residential uses than the existing industrial use.

Items to be Addressed: None.

MASTER PLAN

The subject site and the neighboring parcels fronting Baker Road (with the exception of the school property) are all classified as Baker Road Corridor-Mixed Use in the Master Plan. The intent of the Baker Road Corridor-Mixed Use designation is to accommodate existing uses, encourage the upgrade of this area through redevelopment, and provide amenities that encourage public transit use.

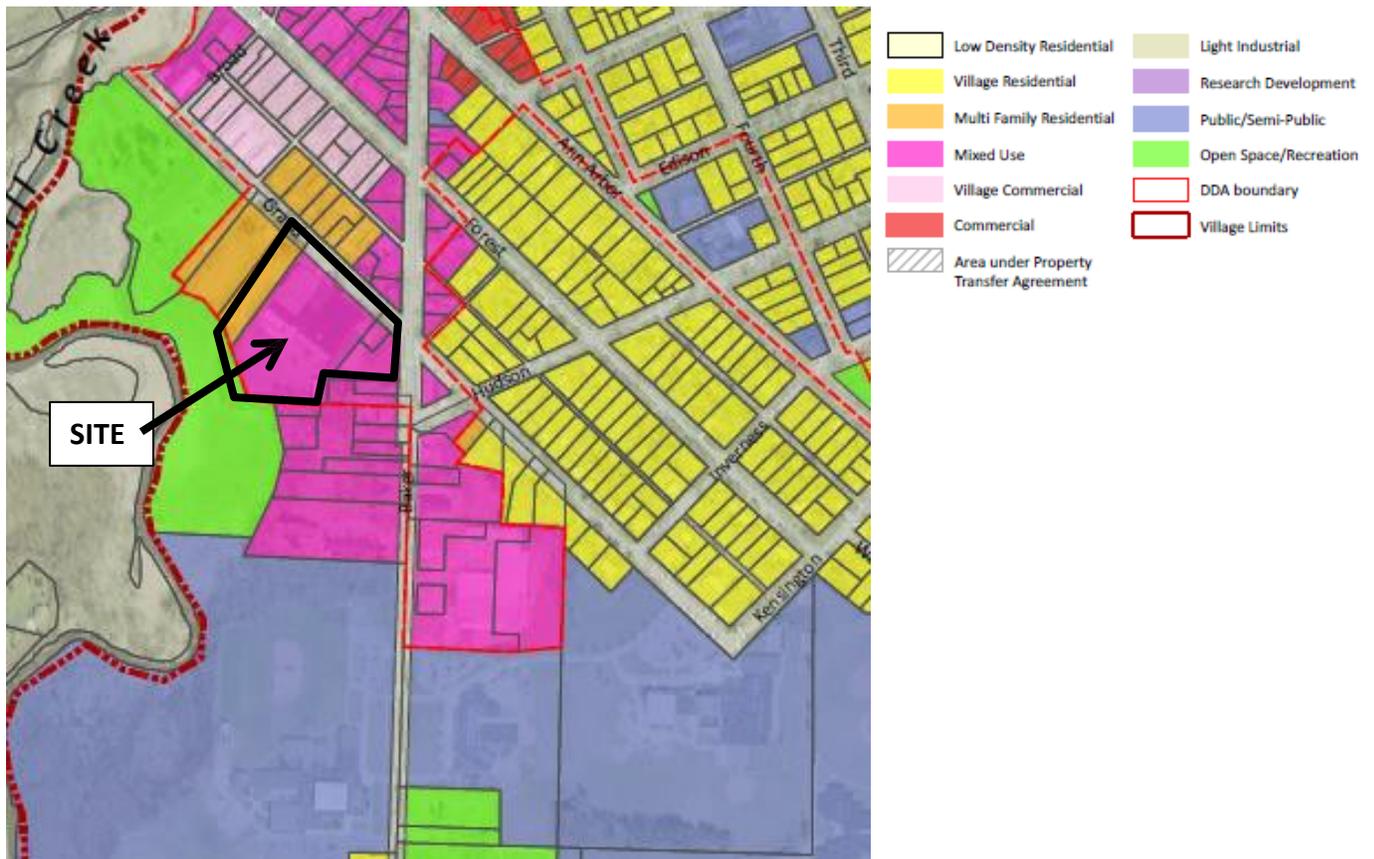
This designation also plans for:

- 1. Mix of complementary land uses.**
- 2. Flexibility in parking requirements, shared parking, and the reduction of curb cuts.**
3. Permit conversion of homes to non-residential land uses.
- 4. Encourage a variety of housing types and higher densities for residential infill projects.**
5. Second-story multiple-family residential uses.
- 6. Architectural standards and controls and unified design elements.**
- 7. Better pedestrian and bicycle circulation and access.**
- 8. Encourage redevelopment and infill development.**
9. Maintain and enhance the City's small town, historic character.
- 10. Enhance the streetscape along Baker Road.**
11. Establish a greenway connection along Mill Creek between the school and Downtown.
- 12. Encourage economic development within the corridor.**

We have highlighted (bold lettering) the various Baker Road Corridor-Mixed Use intentions supported by the proposed development. In addition, this future land use classification lists *high density residential uses* an appropriate use within this planned area.

The acquired property to the northwest along Grand Street is designated in the Master Plan for multiple-family future land use which is intended to provide for a *mix of multiple-family uses near the City Center*. The anticipated uses in the Multiple-Family Residential category include townhouses, garden apartments, or two (2) to three (3) story apartments at a density not to exceed nine (9) dwelling units per acre.

Figure 2. – Future Land Use Map



	Subject Site	North	South	East	West
Zoning	LI/VR	VR	VR	VR/R-1B /C-1	PP
Land Use	Industrial/ Residential	Residential	Residential/ Commercial	Residential	Vacant/Mill Creek/Residential
Master Plan	Baker Rd Mixed- Use/Multi-Family	Baker Rd Mixed Use/ Multi-Family	Baker Rd Mixed Use/Open Space/ Recreation	Baker Rd Mixed Use/Village Residential	Open Space/ Recreation/ Multiple Family

Specific objectives related to the Baker Road Corridor are also outlined in the Master Plan related to the proposed development include:

1. Guide development to foster the responsible use of land, preserve natural features, and to make the best use of existing public services, utilities, and infrastructure.
2. Encourage cohesive and distinct development of a mix of commercial, office, service and residential uses within this area which serves as a transitional area between the downtown area and adjacent single-family residential.

3. Upgrade existing infrastructure within the corridor to assist and meet the needs of the redevelopment potential within the corridor.
4. Encourage residential or mixed-use development (including residential uses) as a buffer between adjacent residential areas and other uses within this planned area. Such uses shall not create adverse impacts on existing or proposed residential uses, and will be scaled, designed, and landscaped so as to complement and enhance the adjacent properties.
5. Encourage preservation of natural features and development of parks and consider their interrelationship with existing parkland, natural areas, and adjacent neighborhoods.
6. Encourage common design elements throughout the corridor to provide visual consistency throughout the district. Design elements should promote the continuation of the downtown streetscape theme and include landscaping, signage, lighting, and architectural design.
7. Manage access to the development by encouraging consolidation of curb cuts and shared driveway access. Parking lots should be shared when possible and located in the rear or on the side of buildings when possible.
8. Integrate public gathering spaces at key points of interest and entrances to intersections within a pedestrian/non-motorized circulation system. Specifically, by promoting a connection to the future parkland and open space adjacent to the Baker Road Corridor and along the Mill Creek.
9. Improve pedestrian access (sidewalks/bike trails) from adjacent neighborhoods to the Baker Road planned mixed-use area.

We find the proposed development meets and/or contributes to the continuance and implementation of the City of Dexter Master Plan objectives outlined above.

Items to be Addressed: None.

BAKER ROAD CORRIDOR

The subject site is also located in the Baker Road Corridor (BRC) overlay district which references the Master Plan goals and objectives outlined above. In addition, specific architectural standards are provided in order to integrate the development within the BRC by visually relating new structures with existing buildings in the Central Business and Village Commercial districts.

Specific architectural standards for the BRC overlay district are noted below in accordance with Section 15(D).02. In reviewing the BRC standards we focused primarily on the townhouse

structures, as that building type is most visible as it will be located along the Grand Street ROW for our evaluation of building orientation and building scale all proposed structures are considered in our discussion of exterior building materials and design.

Building Orientation: The intent of the BRC is to contribute to the desirability of pedestrian activity within the Baker Road area and to encourage connectivity to the streetscape. Entranceway orientation and proposed flow of pedestrians will contribute towards the desired pedestrian activity and scale. The following shall be considered:

1. Buildings shall front toward and have at least one (1) pedestrian entrance facing onto the public street.
2. Blank walls may not face a public street and buildings must have windows and architectural features commonly associated with the front façade of a building, such as awning, cornice work, edge detailing or other decorative finish materials, on walls that face the public street.
3. All buildings shall have at least 70% of their first floor façade on the street-facing sidewalk as non-reflective. The use of highly reflective, mirror-type glass is prohibited.

CWA COMMENT: *The townhouse structure is located along the Grand Street ROW. All units have a pedestrian entrance visible/facing the street. The north (front) elevation of the townhouse structure has incorporated a variety of architectural features (windows, columns, dormers, recessed entries, etc.), and is not considered a blank wall. A listing of material types has not been provided.*

Building Scale:

1. Building facades are required to be subdivided through the location of architectural treatments and the arrangement of openings (doors and windows) that are compatible in size and scale to the surrounding buildings. The predominating surface plan of all building walls over 40 feet in length shall be varied through the use of architectural treatments, such as varying building lines, entrance accents, and windows.
2. The height to width ratio of these subdivided facades of single-story buildings shall not exceed 1:2. The height to width ratio of these subdivided facades of two-story buildings shall not exceed 1:1.
3. Building articulation shall be accomplished through combinations of the following techniques:
 - a. Façade modulation: Stepping portions of the façade to create shadow lines and changes in volumetric spaces;
 - b. Use of engaged columns or other expressions of the structural system.

- c. Horizontal and vertical divisions. Use of textures and materials, combined with façade modulation.
- d. Dividing facades into storefronts with visually separate display windows.
- e. Providing projections such as balconies, cornices, covered entrances, pergolas, arcades, and colonnades.
- f. Variations in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables, and other similar devices.

CWA COMMENT: *Façade modulation has been provided through the use of entry doors and bay windows. The height (21.5 feet) to width (24 feet) ratio does not exceed 1:1 for the subdivided two-story façade. Further building articulation is accomplished through façade modulation, the use of columns; balconies, covered (recessed) entrances, and dormer windows.*

Building Materials and Design: The applicant must demonstrate the proposed buildings possess architectural quality and variety that create a distinct and harmonious character for the corridor

1. Variety in building design shall be provided by architectural features, details, and ornaments such as archways, colonnades, towers, and cornices.
2. Building entrances shall utilize windows, canopies, and awning; provide unity of scale, texture, and color; and provide a sense of place.
3. Roof shape and materials shall be architecturally compatible with the district and enhance the predominant streetscape. Consideration should be given to surrounding buildings when determining roof shape.
4. Exterior building materials and treatment shall maintain a consistent overall appearance within the BRC. Any individual side of a principal building, at least 80% of the façade shall be constructed of, or covered with, one or more of the following materials:
 - a. Brick – smooth, hard, uniform, red, dark-red, or brown brick.
 - b. Cut stone – carved and smooth finish stone.
 - c. Siding – natural wood and/or cement-based artificial wood-siding.
 - d. Glass windows and/or doors – non-reflective, clear or slightly tinted.
 - e. Other materials similar to the above as determined by the Planning Commission.

CWA COMMENT: *A variety in building design has been represented in each of the building-types. Building entrances and roof shapes are in scale with typical residential developments.*

Exterior materials will need to be identified to ensure preferred materials are utilized, and the 80% requirement has been met on each structure. Overall, we find the proposed structures meet the architecture design guidelines of the BRC district.

Items to be Addressed: *Provide listing of exterior façade materials for final site plan.*

NATURAL RESOURCES

Topography: The site has been previously developed, and maintains a level topography with a 5-foot slope from the front (north) to the rear (southwest) of the site having natural drainage toward Mill Creek.

Woodlands: Sixty-nine (69) trees are demonstrated on the topographic survey and provided in the tree table. It appears that most of the existing trees will be removed to accommodate the proposed development. We note the Zoning Ordinance requires that trees to be preserved to be identified on the final site plan with a special symbol. In addition, a tree replacement calculation will also be required for the final site plan.

Wetlands: No wetlands are present on the subject site. However, the site is bordered by Mill Creek to the south.

Soils: The USDA web soil survey indicates the majority of the site contains Oshtemo Loam Sand having 0-6% slopes. We defer to the City Engineer for a detailed review of the soils to support the proposed development.

Items to be Addressed: *1) Take steps to preserve trees on site. 2) Identify trees to be preserved on final site plan. 3) Provide tree replacement calculation for final site plan. 4) City Engineer to review soil suitability.*

TRAFFIC IMPACT

Based on the average weekday trip ends provided by the Institute of Transportation Engineers, we find the existing industrial use generates approximately 79 trip ends/net acre or 474 vehicle trips per day. The existing single-family residential structure to be removed generates approximately 9 vehicle trips per day. A residential condominium development is listed as averaging 5.1 trip ends/dwelling unit. Based on the 80-units proposed, this equates to an average of 408 vehicle trips per day.

A revised traffic impact analysis has been provided by the applicant demonstrating and evaluating existing and future levels of service (LOS) at Baker Road and Grand Street. Based on the analysis provided, the report concludes the proposed development will have minimal if any impact on the traffic operations of Baker Road and Grand Street. The LOS will remain the same with the exception of the southeast bound approach on Grand Street which will be a LOS E

during the peak PM period, and the northwest bound approach on Grand Street which will become a LOS F during both AM and PM peak periods.

The revised report recommends:

- The existing Baker Road drive and proposed Grand drive be designed and constructed per the City of Dexter standards and specifications.
- The Baker Road access should be reconfigured such that the driveway radius does not encroach onto the existing property to the south.

We defer further review of the traffic impact study to the City Engineer.

Items to be Addressed: *City Engineer review of the traffic impact study.*

ESSENTIAL FACILITIES AND SERVICES

The site is served by sewer and water. However, the amount of REUs will need to be evaluated in comparison with the current (industrial/residential) and proposed (residential) uses.

Two (2) stormwater basins are located on the site. The applicant has not indicated whether these ponds will be detention or retention ponds.

We defer further review of the site's essential facilities and services to the City Engineer.

Items to be Addressed: *City Engineer review of existing/proposed essential facilities and services.*

PROJECT DENSITY

Section 19.03 A. outlines the requirements for residential density in PUD developments. The proposed density shall be no greater than which would be allowed by the district regulations for the underlying zoning district unless otherwise permitted by the Planning Commission and City Council. A parallel plan demonstrating a conventional layout based on the underlying zoning with all applicable ordinances and laws observed including proof of water supply and sewage disposal is required to be included as part of the Area Plan submittal. **The parallel plan must be a realistic residential site plan that could be developed if the PUD was not approved** (Section 19.03 A.2.).

The parallel plan has not been revised to include the additional property acquired along the western property line (additional 1.44 acres). As provided, we are unable to accurately verify the proposed project density coincides with the underlying zoning. An amended parallel plan will need to be provided.

Due to the current LI zoning, the applicant is requesting PUD approval with a modification of the underlying zoning to VR, Village Residential. A parallel plan has been provided; however, it is not in accordance with the dimensional standards of the VR district as noted in the application materials. Required setbacks for the VR district are: Front – 15 feet; Side – 10 feet; and Rear – 25 feet. The front setback must be measured from the Baker Road and Grand Street ROWs (The definition of a setback states, *setbacks from a public street or private road shall be measured from the right-of-way line or easement*). The 50-foot setback line on the parallel plan is shown as the ROW line on the other plan sheets. As presented, the front yard setback from the Grand Street ROW is approximately 3 feet which is deficient 12 feet.

The deficient parallel plan depicts 56 2-bedroom units having a density of 7.73 dwelling units per acre. The VR/R-3 district regulations allow for the following residential densities depending upon the type of units proposed:

- Studio/1-bedroom = 12 dwelling units/acre (86.88 dwelling units on subject site)
- 2-bedroom = 9 dwelling units/acre (65.16 dwelling units on subject site)
- 3+-bedroom = 6 dwelling units/acre (43.44 dwelling units on subject site)

The proposed development has a variety of housing (bedroom) types; the applicant has provided a unit average for the development totaling 61.74 dwelling units which equates to 7.18 units per acre.

As provided, the parallel plan is incomplete, and we are unable to verify the project's density coincides with the (proposed) underlying zoning (Village Residential) as required.

Items to be Addressed: *Revise parallel plan to include entire project area and demonstrate all required setbacks.*

IMPACT STATEMENT

Section 19.08 outlines the requirements for Area Plan submittal which includes an impact statement containing specific issues related to the proposed development, these include:

- (a) Water, noise, and air pollution associated with the proposed use.
- (b) Effect of the proposed use on public utilities.
- (c) Historic and archeological significance of the site and adjacent properties.
- (d) Displacement of people and other land uses by the proposed use.
- (e) Alteration of the character of the area by the proposed use.
- (f) Effect of the proposed use on the City's tax base and adjacent property values.
- (g) Compatibility of the proposed use with existing topography and topographic alterations required.

- (h) Impact of the proposed use on surface and groundwater.
- (i) Operating characteristics and standards of the proposed use.
- (j) Proposed screening and other visual controls.
- (k) Impact of the proposed use on traffic.
- (l) Impact of the proposed use on flora and fauna, natural resources and natural features, woodlands, wetlands, etc.
- (m) Negative short-term and long-term impacts, including duration and frequency of such impacts, and measures proposed to mitigate such impacts.
- (n) Economic effect the project would have on the City, including, but not limited to, the additional need, if any, for City public services such as the need for additional police or fire services, or public school support, the generation of municipal refuse, etc.

The impact statement provided (starting on page 11 of the applicant's submittal) addresses all of the above listed items. The Planning Commission and City Council must consider the following criteria in evaluating the applicant's impact statement as listed in Section 19.08 A.f.2):

1. *Will be harmonious with and in accordance with the general objectives of the Master Plan.*

CWA COMMENTS: As noted above in the Master Plan portion of this report, based on the intent and objectives of the Baker Road Corridor – Mixed Use classification, the proposed multi-family project meets the objectives of the City of Dexter Master Plan. Further, the applicant provides excerpts from the DDA Development Plan that also relate to the redevelopment of the subject site including: residential along pond/creek; brownfield redevelopment; development of Forest, Grand, and Broad Streets to enlarge the downtown; relocate all industrial uses to industrial park; development of high-density “row houses”; new residential in the downtown; residential as a transition into the existing historical residential neighborhood on the north side of downtown and along Baker Road; and development of attached 2-story and one-half story or 3-story townhomes for those seeking the advantages of downtown atmosphere.

2. *Will be designed, constructed, operated, and maintained in harmony with the existing or future neighboring uses.*

CWA COMMENTS: The proposed multi-family development will provide a variety of housing styles and types. The proposed residential use will be more harmonious with the existing neighboring residential uses adjacent to the subject site than the existing industrial use. The proposed residential use will eliminate semi-truck traffic from the site, and other undesirable industrial impacts that can interfere with adjacent residential uses.

We have several concerns with the layout and design of the site which are outlined under the PUD Standards section of this report.

3. *Will not be hazardous or disturbing to existing or future neighboring uses.*

CWA COMMENTS: As noted in #2 above, the proposed residential use will benefit neighboring uses by the removal of an industrial facility along this prominent entry into Downtown Dexter.

4. *Will represent a substantial improvement to property in the immediate vicinity and to the community as a whole.*

CWA COMMENTS: It is clear the redevelopment of the proposed site from the existing industrial use to a residential use will benefit the properties and uses in the immediate vicinity, as well as the community as a whole. The Master Plan defines the Baker Road corridor as a “gateway” to the city center. Further, the applicant has noted the redevelopment of this site may be a catalyst for additional redevelopment along this corridor providing further economic benefit along Baker Road.

5. *Will be served adequately by essential public services and facilities, such as highways, streets, drainage structures, police and fire protection, and refuse disposal, or personal or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services.*

CWA COMMENTS: Review of all essential services and facilities will be conducted during final site plan review. However, the site is already served with municipal sewer and water. Based on the information provided, the City Engineer has indicated the systems have been sized with anticipation of redevelopment of the subject site (Mill Creek). Stormwater treatment does not currently exist on-site and will include the use of two (2) pre-treatment basins and addition landscaping treatments such as bio-swales, raingardens and/or native vegetation will be used to pre-treat stormwater prior to it discharging into the wetland property located to the south of the subject site. Additional police, fire, and refuse facilities are also anticipated, and will need to be evaluated by the City.

6. *Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the community.*

CWA COMMENTS: Based on the information presented, we do not feel the proposed redevelopment of the site from an industrial use to a residential use will create excessive additional public costs, nor will it be detrimental to the economic welfare of the community.

7. *Will not involve uses, activities, processes, materials, equipment, and conditions of operations that will be detrimental to any persons, property, or the general health, safety and welfare by reason of excessive smoke, fumes, glare, noise, vibration, or odors.*

CWA COMMENTS: The proposed use will not contain operations that will be detrimental to neighboring persons or property.

Items to be Addressed: *Consider alternative design options (see PUD Standards section).*

PUD STANDARDS

Section 19.08 C. of the Zoning Ordinance requires that a petition for a PUD and area plan meet the following standards:

1. *The proposed PUD shall conform to the adopted Master Plan or any part thereof, or represents a land use policy, which, in the Planning Commission's opinion, is a logical and acceptable change to the adopted Master Plan.*

CWA COMMENTS: Overall, we believe the proposed PUD is consistent with the City's Master Plan. See the Master Plan portion of this report (pg. 3).

2. *The proposed PUD shall conform to the intent and all regulations and standards of a PUD district.*

CWA COMMENTS: Section 19.01 lists eleven (11) PUD district regulations which a petitioner must demonstrate to be eligible for PUD designation. The ordinance specifically states, ***A PUD must demonstrate all of the following as a condition for PUD:***

- A. *A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations.*

Public benefits related to the project are listed on page 15 of the applicant's submittal, and a revised listing was provided on May 18, 2016. However, in our opinion a number of the benefits listed, could be or would be required to be, accomplished with any redevelopment of the site. We feel the benefit of allowing the PUD is the flexibility granted to the applicant with regard to reduction of setbacks and variety in design, housing types, and layout. Of the public benefit items listed by the applicant (May 18, 2016 submittal), we feel the following could be justified as recognizable and material benefits of the PUD:

- Public non-motorized easement to Mill Creek Park along western property line.
- Benches at the end of the non-motorized path.

- Improved pedestrian crossing on Baker Road with rapid flashing beacon (RFB).
- New on-street public parking.
- Public art pad.

B. Encourage innovation in land use and excellence in design, architecture, layout, type of structures constructed through the flexible application of land development regulations, structures constructed through the flexible application of land development regulation, and the preservation of natural resources.

In our opinion, the mix of structure types is the only innovative element to the proposed development. The layout of the proposed PUD is essentially the layout provided under the parallel plan with larger and a greater variety of building types.

We encourage the applicant to consider the following design elements to further enhance the usability and aesthetics of the site:

- The applicant has treated Baker Road like a “back door”. A presence on Baker Road is necessary to anchor the site and continue/unify the streetscape. This could be done through a variety of ways including, but not limited to:
 - Townhomes along Baker Road ROW.
 - A wall with landscape elements to continue to the streetscape along Baker Road.
- The project lacks human scale. While we feel the overall density could be accommodated, greater attempts to provide walkability within the site and connectivity to the surrounding area should be considered. We suggest the following:
 - Widen internal sidewalks from 5 feet to 8 feet (10 feet is preferred). This would allow for two-way pedestrian movement throughout the site.
 - Widen the walkway (western property line) leading to the park to 10 feet (12 feet preferred). This would allow both better pedestrian/cyclist use and give emergency vehicles an access point (emergency only) on the west side of the property.
 - Widen the courtyards between 8-unit buildings. While this could mean the loss of one (1) building, it may allow the remaining buildings to be reverted to the previously proposed 12-unit structures.
 - The spacing between townhomes is very tight, but acceptable in all instances except where the central walkway is proposed connecting the

development to Grand Street. This walkway should be widened to 8 feet (10 preferred). This could mean the elimination of one (1) or two (2) townhome units.

- The revised layout does not address previous comments related to a centrally located open space area. Ideally, such an area would offer a gathering and recreation place for residents. A centrally located space would lessen the need to widen the current 8-unit structure spacing (noted above). A central open space would also allow for more units to face green/open space significantly enhancing resident views from their units.
- We feel the retention ponds could be used as more of a site amenity. It appears the applicant is intending to utilize the area north of the southern pond (behind 4-unit buildings) as a gathering space; however, no clear indication of how this space will be used has been provided. We recommend a pathway meandering through this area connecting the north and south pathways that terminate at either side of the southern detention area, in addition to other resident amenities should be considered.

C. The PUD shall incorporate design elements that unify the site through landscaping, lighting, coordinated signage, pedestrian walks and pathways.

The bullet points above note a number of recommended pedestrian design elements to be incorporated into the plan. We note further, a landscape plan is not required at this stage of review. However, significant improvements to the landscape plan for final site plan review are recommended, such as:

- Provide staggered rows of shrubs/trees along north and south property lines.
- Include a diversity of plant types.
- Enhance the streetscape along both Grand Street and Baker Road.
- Additional plantings along Grand Street entrance drive.

D. Long-term protection and preservation of natural resources and natural features of a significant quantity and/or quality, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the PUD regulations. The PUD emphasizes a planning approach, which identifies and integrates natural resources and features in the overall site design concept and encourages the provision of open space for active and passive use.

There are no natural resources/features to speak of within the subject site. However, the site is located immediately north of Mill Creek. The development is providing for public pedestrian access to the Mill Creek along the west property line. No active or passive recreation uses are demonstrated on-site.

- E. Long-term protection of historic structures or significant architecture worthy of preservation, if applicable.*

No historic structures or significant architecture is present on-site.

- F. Achieve economy and efficiency in the use of land, natural resources, energy and the provision for public services and utilities, provides adequate housing, employment and shopping opportunities particularly suited to the needs of the City residents, if applicable.*

During Planning Commission consideration of the initial plan, the use of a parallel water main (as proposed) was discussed, and found not to be in the interest of City residents. The Utility Plan (Sheet 03 of the revised plan set) does not provide a clear depiction of the on- and off-site proposed utilities. It is our understanding the existing 4-inch water main will be upgraded to an 8-inch main (based on our discussion with the Community Development Manager); however, both the 4-inch main and the new main (diameter not provided) are both shown on the Utility Plan.

The applicant will need to clearly depict the proposed utility layout.

- G. The PUD shall be harmonious with public health, safety and welfare of the City.*

Overall, we feel the proposed use of the PUD could be harmonious with public health, safety, and welfare of the City, provided the applicant satisfactorily address concerns cited in this report.

- H. The proposed PUD shall not result in an unreasonable negative environmental or the loss of historic structure(s) on the subject site.*

The proposed PUD will provide for brownfield redevelopment of a critical infill site along Baker Road. No historic structures will be lost.

- I. The proposed planned unit development shall not result in an unreasonable negative economic impact upon surrounding properties.*

We do not feel the proposed development will result in a negative economic impact upon surrounding properties.

- J. The proposed use or uses shall be of such location, size, density and character as to be in harmony with the zoning district and the City of Dexter Master Plan and shall not be detrimental to the adjoining districts.*

As noted under the Master Plan section of this report, the proposed development is in keeping with the intent of the Master Plan and the surrounding area.

- K. The proposed PUD shall be under single-ownership and/or control such that there is a single person, corporation, or partnership having responsibility for completing the project in conformity with this Ordinance.*

The proposed PUD is under single-ownership/control. The applicant currently owns 7931 and 7985 Grand Street, as well as, vacant Baker property. A purchase agreement for 7361 Grand has been included with the plan submittal.

- L. The PUD is not proposed in an attempt by the petitioner to circumvent the strict application of zoning standards.*

The PUD will provide the developer flexibility in design, housing types, and layout.

3. *The proposed development shall be adequately served by public facilities and services such as: highways, streets, police and fire protection, drainage courses, water and sanitary sewer facilities, refuse disposal, or that the persons or agencies responsible for the proposed development shall be able to properly provide such facilities and services.*

CWA COMMENTS: As noted throughout this report, it appears the proposed PUD will be adequately served by public facilities and services. However, issues raised in this review regarding, traffic, water, sewer, and stormwater management must be addressed to the satisfaction of the City prior to final site plan review.

4. *Common open space, other common properties and facilities, individual properties, and all other elements of a PUD are so planned that they will achieve a unified open space and recreation area system with open space and all other elements in appropriate locations, suitable related to each other, the site and surrounding lands.*

CWA COMMENTS: Common open space within the proposed development is mainly internal sidewalk connections and stormwater basin areas. The public pedestrian access along the western property line will allow for a future connection to additional improvements Mill Creek Park. See CWA Comments under #2 for comments related to open space and pedestrian amenities.

5. *The petitioner shall have made provision to assure that those public and common areas will be or have been irrevocably committed for that purpose. Provision shall be made for financing of improvements shown on the plan for open space and other common areas, and that proper maintenance of such improvements is assured.*

CWA COMMENTS: Article IV of the draft Master Deed outlines Common Elements of the site and the responsibilities of the condominium regarding maintenance, repair, and replacement.

6. *Traffic to, from, and within the site will not be hazardous or inconvenient to the project or the neighborhood. In applying this standard the Planning Commission shall consider, among other things, convenient routes for pedestrian traffic relationship of the proposed project to main thoroughfares and street intersections, and the general character and intensity of the existing and potential development of the neighborhood.*

CWA COMMENTS: The applicant has provided a revised traffic impact study as outlined on page 9 of this report. A rapid flashing beacon (RFB) has been added to the existing mid-block Baker Road pedestrian-crossing for pedestrian safety. However, improvements to the crossing of Grand Street should also be considered as this configuration is also awkward for pedestrians to cross. Additional suggestions related to internal pedestrian connects can be found under item #2 above.

7. *The mix of housing unit types and densities, and the mix of residential and non-residential uses shall be acceptable in terms of convenience, privacy, compatibility, and similar measures.*

CWA COMMENTS: The need for additional housing types is necessary within the City, and we find the types, and design of the structures to compliment the character of the downtown. As mentioned previously, the project density will need to be verified by an updated parallel plan.

8. *The Planning Commission shall determine, where applicable, that noise, odor, light, or other external effects from any source whatsoever, which is connected with the proposed use, will not adversely affect adjacent and neighboring lands and uses.*

CWA COMMENTS: As proposed, noise, odor, light, or any other external effects should not affect adjacent land uses. A lighting plan will be required during final plan review.

9. *The proposed development shall create a minimum disturbance to natural features and land forms.*

CWA COMMENTS: No natural features will be disturbed in the redevelopment of the site. On-site stormwater management will be greatly enhanced further protecting the adjacent Mill Creek.

10. *Streets shall follow topography, be properly spaced, and be located and aligned in accordance with the intended function of each street. The property shall have adequate access to public streets. The plans shall provide for logical extensions of public streets and shall provide suitable street connections to adjacent parcels, where applicable.*

CWA COMMENTS: Access to the site is provided via a driveway from Grand Street at the northeast corner of the site, and along Baker Road at the southeast corner of the site. The site's internal circulation appears adequate.

11. *Pedestrian circulation shall be provided for within the site, and shall interconnect all use areas, where applicable. The pedestrian system shall provide a logical extension of pedestrian ways outside the site and to the edges of the PUD, where applicable.*

CWA COMMENTS: Please see CWA Comments in item #2 above related to pedestrian circulation.

Items to be Addressed: 1) Planning Commission consideration of requirements of PUD intent. 2) Frame Baker Road by continuing the streetscape. 3) Consider widening of all pedestrian paths as noted. 4) Consider central open space. 5) Demonstrate proposed open space amenities. 6) Consider path connection north of southern detention area. 7) Provide location and dimensions of all proposed, existing, and/or modified utility lines.

PRELIMINARY SITE PLAN REVIEW

AREA, WIDTH, HEIGHT, SETBACKS

The applicant is requesting rezoning of the subject site to an underlying zoning of VR, Village Residential. Section 20.10 outlines the schedule of regulations for the VR zoning district.

	Required	Provided	Compliant
Lot Area	4,500 sq.ft./d.u. (2-family) 9,800 sq.ft./d.u. (multi-family)	8.57 acres	7 acres needed for 2-family 15.3 acres needed for multi-family
Lot Frontage	60 feet	170.38 feet	Complies
Setbacks			
Front	15 feet	4 feet (Grand St. ROW) 141 feet (Baker Rd. ROW)	Deviation from requirement needed.
Side	10	25 feet (south) 15 feet (west)	Complies
Rear	25	-	-
Building Height	2.5 stories / 35 feet	Approximately 26 feet (townhouse structure)	Provide building height on elevation drawings.

No deviations to the VR district standards have been outlined in the application materials or on the site plan. We note front setbacks are required to be measured from the public right-of-way, and are required to remain as open space. As presented, the front yard setback along Grand Street has not been met. Further, the driveway from Baker Road is located within the required south setback area. These deviations to the requirements of the ordinance will need to be called out on the plans.

Incomplete elevation drawings have been provided for the proposed 4-unit structure. Building height of the townhouse, duplex, and 4-unit structures have not been provided.

Items to be Addressed: 1) Provide list of dimensional deviations sought through PUD approval.
2) Verify height of townhouse, duplex, and 4-unit structures.

BUILDING LOCATION AND SITE ARRANGEMENT

The site arrangement and building locations have been modified slightly to accommodate the additional acquired property to the west. However, the layout has not been changed to address the Planning Commission's directive to provide a more centralized entrance on Grand Street. The revised layout is essentially the same footprint presented to the Planning Commission in April with the exception of 12-unit buildings being replaced with 8-unit structures.

Density will need to be verified through an accurate parallel plan. We have provided numerous suggestions under the PUD Standards portion of the report with regard to further site arrangement modifications, such as:

- Creating a presence on Baker Road.
- Widening pedestrian pathways.
- Demonstrating a central open area.

Items to be Addressed: Consider additional site arrangement modifications as suggested (see PUD Standards portion of this report).

SITE ACCESS AND CIRCULATION

The site will be accessed via a driveway from Grand Street and a driveway from Baker Road. Internal circulation appears adequate; however, turning radii for emergency and garbage trucks should be required on the final site plan.

We defer further comment on site access and circulation to the Dexter Area Fire Department and the City Engineer.

Items to be Addressed: Provide emergency and garbage truck turning radii for final site plan.

PARKING, LOADING

Section 5.03 requires multiple-family dwellings provide two (2) parking spaces for each dwelling unit, and 0.5 guest parking spaces for every three (3) dwelling units. The applicant should verify each of the garages can accommodate two (2) parking spaces.

Based on the number of dwelling units (80), an additional fourteen (14) guest spaces would be required. Twenty-one (21) additional parking spaces have been provided at various locations throughout the development, as well as sixteen (16) on-street spaces shown on Grand Street. We note none of the parking spaces are depicted as barrier-free.

The parking space requirements in Section 5.03 are described as maximum requirements. In exceeding these provisions, the applicant must demonstrate a need for the additional guest spaces proposed.

Items to be Addressed: 1) Verify all garages proposed can accommodate 2 cars. 2) Reduce amount of guest parking, or demonstrate need for additional parking to Planning Commission. 3) Demonstrate barrier-free guest parking space in accordance with ADA requirements.

SIDEWALKS

Sidewalks are discussed in detail under the PUD Standards section of this report. All internal and periphery sidewalks are proposed at 5-foot widths. The public pedestrian walkway along the western property line to Mill Creek is 8 feet wide.

Items to be Addressed: Consider widening sidewalk widths as outlined in PUD Standards section of this report.

LANDSCAPING

A conceptual landscape plan has been provided by the applicant for review and comment. A detailed landscape plan will be required at the final site plan stage of review.

Composition: At the time of detailed landscape submission, the applicant will be required to provide a detailed landscape schedule with botanical names, sizes, spacing, etc. of each proposed plant.

Street Trees: Street trees (canopy trees) are required at a minimum of every thirty (30) feet or a maximum of forty (40) feet between the sidewalk and the curb for development with frontage on a public street. Twenty-two (22) to 29 street trees are required along the Grand and Baker Road ROWs in order to meet this requirement. Eighteen (18) street trees are depicted on the conceptual landscape plan.

Parking Lot Screening: Parking lot screening is not required, as none of the proposed parking areas are adjacent to a ROW.

Interior Parking Lot: Parking lots having either 3,000 sq. ft. of area or 25 spaces are required to provide at least 3% of the total parking area as landscaping. Twenty-one (21) parking spaces are proposed within three (3) separate areas of the site. None of the proposed parking areas consists of 3,000 sq. ft. of area. Therefore, no additional interior parking lot landscaping is required.

- Buffer/Screen:** The multiple-family development is adjacent to existing VR zoned/used property to both the west and south. The applicant conceptually shows Buffer Zone “B” along both of these property lines to provide required screening.
- Site Landscaping:** One (1) tree is required for each 1,000 square feet of open space on the development site. Trees in the required screen can count toward this calculation. The conceptual landscape plan indicates 3.36 acres of open space are provided requiring 146 trees.
- Details:** Planting and staking details will be required during final site plan.
- Refuse Containers:** Curb-side pick-up is proposed.

Items to be Addressed: *Provide detailed landscape plan as indicated above with the final site plan.*

LIGHTING

A lighting plan is required for final site plan including full photometric plan and details of all exterior lighting fixtures proposed.

Items to be Addressed: *Provide full photometric plan and details of all the proposed lighting at final site plan review.*

SIGNS

A sign location has not been demonstrated on the conceptual plan. Any signs(s) must comply with all applicable provisions of Article 7, Signs, of the Zoning Ordinance. A detailed sign plan will be required at the final stage of site plan review, if applicable.

Items to be Addressed: *Provide location and detail of all signage at final site plan review.*

EXTERIOR ELEVATIONS/FLOOR PLANS

Building elevations and floor plans for each of the proposed structure types will need to be provided. Townhome structure height and elevations and floor plans for the proposed 4-unit structures have not been provided.

Items to be Addressed: *1) Provide townhouse structure height. 2) Provide elevations and floor plans for 4-unit building.*

MASTER DEED, BYLAWS, PUD AGREEMENT

The proposed master deed and bylaws were provided with the applicant's initial submittal. A revised PUD agreement was provided as a supplement to the revised plan review. We note the following items that require further clarification within the PUD Agreement:

1. Item #10 (page 4) – the written number does not match the number in parenthesis with regard to the allocation of REUs.
2. Item #11 (page 4) – No reference to zoning compliance for the multi-unit structures (4-unit and 8-unit) is provided. Further, we note the provision allows for landscaping completion will not be required until the final zoning request for the last unit.
3. Item #12 (page 4) – This provision should be reviewed by the Township Engineer.
4. Item #13 (page 4) – This provision should be reviewed by the Township Engineer.
5. No signature page provided.

Items to be Addressed: Township staff, engineer, and attorney review of all legal documents related to the Grandview Commons development.

RECOMMENDATIONS

We recommend the following information be provided to the Planning Commission prior to making a recommendation to the City Council on the Grandview Commons Area Plan:

1. Revise the parallel plan to include the entire project area and demonstrate all required setbacks of the VR (proposed underlying zoning) district. As provided, the parallel plan is incomplete, and we are unable to verify the project's density coincides with the (proposed) underlying zoning.

Further, the Planning Commission should consider the intent of the PUD Ordinance and the specific criteria listed in Section 19.01 (our review of this material is found starting on page 14 of this report).

Additionally, we suggest the applicant consider the following site design modifications:

1. Frame Baker Road to anchor the site and continue the streetscape along Baker Road frontage.
2. Consider widening of all pedestrian paths as noted.
3. Consider central open space.
4. Demonstrate proposed open space amenities.
5. Consider path connection north of southern retention area.

Grandview Commons
5/20/2016

The following items will need to be addressed prior to Area Plan/Preliminary Site Plan approval:

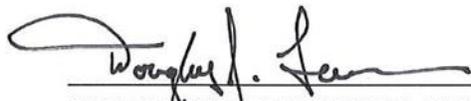
Area Plan/Preliminary Site Plan

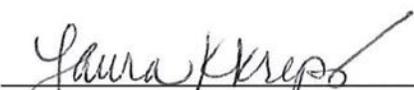
1. Planning Commission consideration of requirements of PUD intent.
2. City Engineer review soil suitability.
3. City Engineer review of traffic study.
4. City Engineer review of existing/proposed essential facilities and services.
5. Provide location and dimensions of all proposed existing, and/or modified utility lines.
6. Provide list of dimensional deviations sought through PUD approval.
7. Verify height of townhouse, duplex, and 4-unit structures.
8. Verify all garages will accommodate 2 cars.
9. Reduce amount of guest parking or demonstrate need for additional parking to Planning Commission.
10. Demonstrate barrier-free guest parking space in accordance with ADA requirements.
11. Provide elevations and floor plan for 4-unit structure.
12. City staff, engineer, and attorney review of all legal documents related to the Grandview Commons development.

The following items will need to be addressed prior to final site plan approval:

Final Site Plan

1. Take steps to preserve trees on-site.
2. Identify trees to be preserved.
3. Provide tree replacement calculation.
4. Provide emergency and garbage truck turning radii for final site plan.
5. Provide detailed landscape plan.
6. Provide full photometric plan and details of all proposed lighting fixtures.
7. Provide location and detail of all signage.
8. Provide exterior façade materials during final site plan review.


 CARLISLE/WORTMAN ASSOC., INC.
 Douglas J. Lewan, AICP
 Executive Vice President


 CARLISLE/WORTMAN ASSOC., INC.
 Laura K. Kreps, AICP
 Associate

241-1419

cc: Steve Brouwer via stevebrouwer@arbrouwer.com



ARCHITECTS. ENGINEERS. PLANNERS.

May 19, 2016

CITY OF DEXTER

8140 Main Street

Dexter, MI 48130

Attention: Ms. Michelle Aniol (Sent via Electronic Mail)
Community Development Manager

Regarding: Grandview Commons
Area Plan – Review No. 2
OHM JN: 0130-16-1001

Ms. Aniol:

The applicant, Steve Brouwer with MMB Equities LLC., is proposing a residential area with surrounding parking lot at the southwest corner of Grand Street and Baker Road. We have reviewed the area plan which was received on May 6, 2016. The plans were reviewed in accordance with the City of Dexter Engineering Standards and we have found that the plans require revision. The following items shall be addressed and revised plans provided for additional review:

GENERAL:

1. A legal description of property, including lot number and parcel identification number shall be provided on the plans.
2. The referenced ALTA survey shall be included as part of the preliminary site plan submittal.
3. Topographical data appears missing in the extreme southwestern corner of the property. We suggest adding in the wetland limits as well as the edge of water for Mill Creek for clarity.
4. Proposed building/structures shall have floor area, number of floors and height indicated for each differing occurrence, where applicable.
5. Future re-submittals shall include a letter from the design engineer detailing responses to all comments noted on this review letter.

WATER AND SANITARY SEWER:

6. The plans shall indicate the size of the proposed water main and include 12-foot easements for all proposed main.
7. Water service lines and sewer leads shall be located such that curb stops and cleanouts are not located within paved surfaces. Where possible, manholes and gate valves shall also be in greenbelt areas.
8. The Fire Department will comment on the hydrant locations and plans must conform to Fire Department Guidelines.
9. The size of all proposed sewers and building service leads shall be indicated on the plans.
10. The proposed sewer will be public and shall be within easements.
11. The plans shall state that the existing 4-inch water main shall be abandoned.
12. The diameter of the existing water main at Grand Street and Baker Road is 8-inches. Comment #2 under the Utility Notes on Sheet 03 shall be deleted and the referred to water main shall be shown as 8-inch.
13. The water main at the southwest corner shall be looped per the request of the City DPS.

STORM WATER MANAGMENT:

14. Preliminary invert elevations and detention calculations, sizes and outlets shall be provided for the proposed storm water management system.
15. The existing and proposed storm sewer extending from Baker Road shall include easements.
16. The plan shall specify means for the required pre-treatment or runoff.
17. The proposed second outlet to Mill Creek shall be constructed such that there is appropriate energy dissipation for erosion control. Based on the change in elevation from the proposed pond to the bankfull elevation of Mill Creek, a drop structure will be required. Any sewer on city property will require an easement.
18. The preliminary site plan shall explore low impact development alternatives for storm water treatment. This includes performing testing of existing underlying soils to take advantage of infiltration.

PAVING AND RIGHT OF WAY:

19. All private roadways and parking lots must have concrete curb and gutter.
20. The preferred connection between Grand and the Mill Creek pathway is an 8' wide asphalt pathway within a 10' wide pathway easement.
21. The site plan indicates the construction of a public art pad at the corner of Baker Road and Grand Street. This location should be reviewed for corner sight distance obstructions.
22. An additional rectangular rapid flashing beacon (RRFB) shall be installed on the opposite side of Baker Road at the ramp directly across from the proposed beacon. RRFB's shall be solar powered and radio connected.
23. The proposed site driveways should be constructed in accordance with the City of Dexter Standards. The Baker Road Access shall be reconfigured such that the driveway radius does not encroach onto the existing property to the south. The radii may also be modified based on the expected design vehicles for the site.
24. Sidewalks within the site are dimensioned at 5 feet wide. Where the sidewalk is adjacent to parking the width should be increased to 7 feet to allow for bumper overhang and/or door swing without substantial impact to the clear width of the walkway.
25. The plan shows the construction of a parking lane along the south side of Grand Street. It is understood that the City and applicant will coordinate on the overall improvement of Grand Street. Future plans will provide a greater lever of clarity of the scope.
26. DDA Light poles shall be provided along the Baker Road frontage consistent with spacing currently present.

TRAFFIC:

An updated traffic study was provided based on the comments provided in our previous letter and the proposed increase in units. The study was found to be acceptable as presented.

The above comments should be addressed and the City of Dexter Engineering Standards reviewed prior to submitting for an additional site plan review. Should you have any questions about this review, please feel free to contact me at 313-481-1252 or via e-mail at pat.droze@ohm-advisors.com.

Sincerely,
OHM Advisors



Patrick M. Droze, P.E.
Project Engineer

cc: Courtney Nicholls, City Manager
Dan Schlaff, DPS Superintendent
Dan Dettling, Dexter Area Fire Department
File

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Dexter Area Fire Department

8140 MAIN STREET • DEXTER, MICHIGAN • 48130-1044
TELEPHONE: (734) 426-4500

FIRE CHIEF
ROBERT L. SMITH

May 11, 2016

Michelle Aniol
Community Development Manager
City of Dexter
8140 Main St.
Dexter, MI 48130

Subject: Plan review of: Grandview Commons
Plans dated: May 8, 2016

Dear Mrs. Aniol:

The Dexter Area Fire Department (DAFD) has reviewed plans submitted to our Department. We have reviewed these plans with Fire Safety and Prevention in mind. Our resources are the City's Fire Protection Ordinance and City's Engineering Standards. Below are our comments.

DAFD Comments: 1) Unknown if these roadways will be public or private? DAFD does not support private roadways without a detailed plan in place and approved for public safety

Village of Dexter Engineering Standards (as it refers to fire hydrant location & fire department connections): It is DAFD understanding the plan submitted are "area" plans and do not reflect plans that will be used for actual locations of fire hydrants. When ready please resubmit for approval.

Fire Protection Ordinance: Requirements of this Ordinance will need to be incorporated in future plans before approval: related but not limited to: **Knox Box International Fire Code (IFC) Section 506, Addressing IFC Section 505, Minimum Roadway Widths IFC Section D 103, Fire Lane Signage IFC Section 503.3 & D 103, Portable Fire Extinguishers IFC Section 906 Fire Suppression, Fire Alarm Systems and Kitchen Fire Suppression System (if Applicable) IFC 105.7 & Washtenaw County Building Department. DAFD Requirements: 1) Confirm the roadway names and addressing of this structures as well as the individual units 2) Depending on how the large units will be configured purchase and installation of Knox Boxes maybe required (more information needed) 3) Roadway widths and access within Ordinance.**

DAFD Recommendations: These buildings be connected to a fire alarm system that is monitored by an offsite agency. The installation of fire suppression for all of these buildings.

Donald Dettling
Fire Inspector

Cc/Fire Chief Robert L. Smith
City Mgr. Courtney Nicholls

SMOKE DETECTORS SAVE LIVES



OFFICE OF COMMUNITY DEVELOPMENT

8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

STAFF REPORT

To: Chairman Kowalski and Planning Commission
Courtney Nicholls, City Manager

From: Michelle Aniol, Community Development Manager

Date: May 31, 2016

Miscellaneous Updates

- Mill Creek Sports – Staff has been informed that the Mill Creek Sports property is back on the market. Staff has also been contacted by another interested party regarding access to utilities and process for engaging the city, if access to public utilities is desired.
- The 3rd public meeting regarding the 3045 Broad Street Redevelopment Project is scheduled for Wednesday, June 8th in the Creekside Intermediate School Cafeteria, from 6:00 – 8:00 pm. Staff is working with Foremost Development on the redesign of the meeting flyer (draft flyers attached). All elected and appointed officials are strongly encouraged to attend, and the general public is welcomed as well.

The comments received from the first two public hearings accompany this report, along with the Site Analysis presented by Foremost Development Company at the second meeting.

The RFQ Committee met on Thursday, May 19th to discuss the two public meetings and the site analysis presented by Foremost at the 2nd public meetings. The Committee determined that the Mayor, who's a member of the Committee, and staff, should meet with Foremost to discuss the committees our concerns and expectations regarding the public visioning process. We met with Terry Bailey before the Memorial Day weekend. During our meeting we emphasized the need to create a more interactive process, in hopes of getting things back on track. We also let Terry know that it wasn't clear whether Foremost understood our comments or not. The example used was Broad Street and how important it is to the community. We acknowledge that the Foremost team has been present and listening at the first two public meetings, but our concern is that Foremost isn't really starting from the "blank slate" we expected. We encouraged Terry to share his team's insights based on the feedback residents have provided so far, and we hope that this will occur at the next public visioning session on June 8th.

Terry expressed a concern about staying on schedule, and indicated that a 4th visioning session may be necessary. We agreed and believe it's a positive and a good sign that Foremost is still interested in working to find a good project here in Dexter.

- Staff and City Management met with Washtenaw County Staff regarding the Washtenaw Urban County program. You will recall, the Urban County program is a partnership between the Washtenaw County Board of Commissioners and the cities, townships and villages who have agreed to jointly participate in federally funded programs, such as Community Development Block Grant (CDBG), HOME Investment Partnership (HOME) and Emergency Solutions Grant (ESG). Currently, the city applies directly to the State of Michigan federal funding opportunities. In the past, CDBG planning grants were offered and utilized by the city. Due to recent organizational changes at MEDC and MSHDA, eligibility for CDBG funding is limited to projects with job creation. Washtenaw County staff has offered to make a presentation to Council to provide more information on joining the partnership.

To assist the Tree Board in planning and scheduling tree planting, trimming and pruning activities, staff developed a map (attached), which divides the city four quadrants. Staff could use the map to help with enforcement activities, such as lawn mowing and snow removal.

- The City Manager received an email from Current Magazine with the news that the City of Dexter was chosen by their readers as the Best Suburban Downtown in Washtenaw County

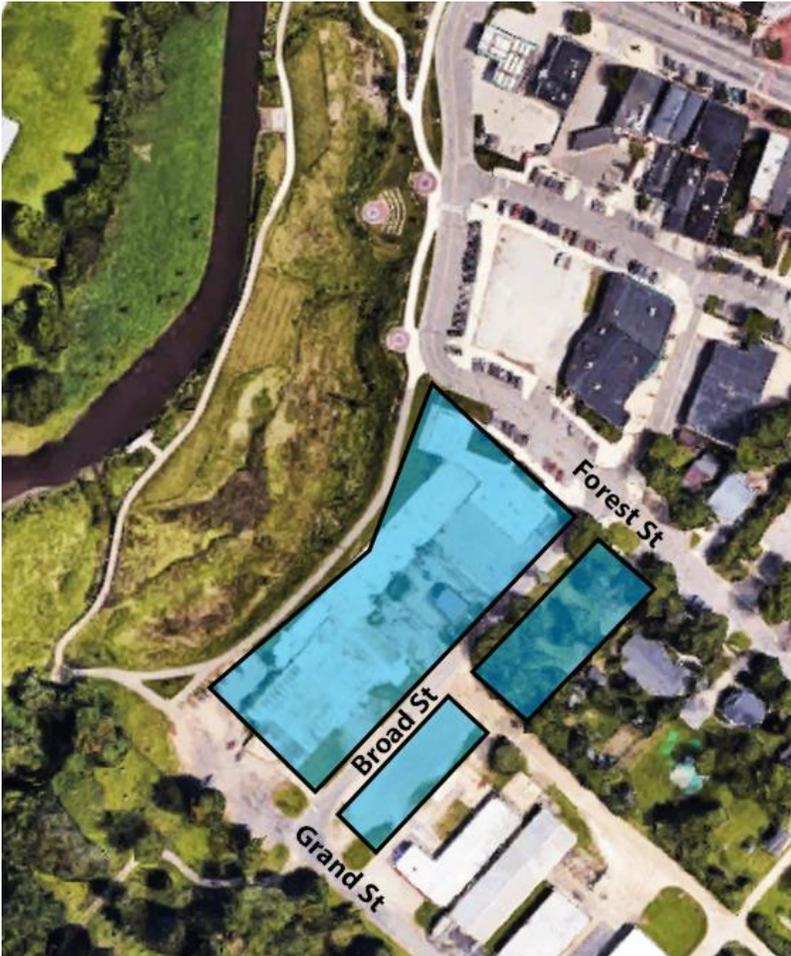
(<http://www.ecurrent.com/Best-of-Washtenaw-2016/Local-Color/>). Staff would like everyone to understand that the term “suburban downtown” is an oxymoron. While Current Magazine may have used the wrong term, there can be no doubt that the intent of the voters was to acknowledge that the City of Dexter has the best (i.e. No. 1) small downtown.

- Zoning Ordinance Updates – over the next few months the Planning Commission will begin to update sections of the zoning ordinance dealing with landscaping, parking, lighting, and signs. The June 2015 Supreme Court ruling will be the driving force behind the majority of amendment to the current sign code. That’s because the court’s ruling in *Reed v. Town of Gilbert* a sign regulation that makes any distinction based on sign content is unconstitutional. Even though the court’s ruling in *Reed* specifically dealt with non-commercial signs, its decision applies to commercial signs as well.

We will review the sign ordinance for content based-regulations. The following terms, which are currently in the ordinance, are indicators of content-based standards:

- Political
- Construction
- Real estate/construction
- Temporary commercial
- Temporary civic/public
- Institutional
- Community special event
- Directional

To achieve content neutrality, one regulation option would be to put signs in categories, such as “temporary signage” and regulate them based on zoning district. For examples, all real estate, open house, temporary sale, one-time event signs, etc. could be regulated as “residential district temporary signs” or “business district temporary signs,” with standards established to regulated size, location, materials, and display time. However, there will be a period of time before these new regulations are adopted. In the meantime, we need to be careful how we enforce our current standards. Thus, staff has contacted the city attorney and planning consultant regarding the enforcement of content-based standards, especially temporary sign regulations.



JOIN US WEDNESDAY,
 JUNE 8, 2016
 FROM 6:00-8:00 PM

CREEKSIDE INTERMEDIATE
 SCHOOL, CAFETERIA

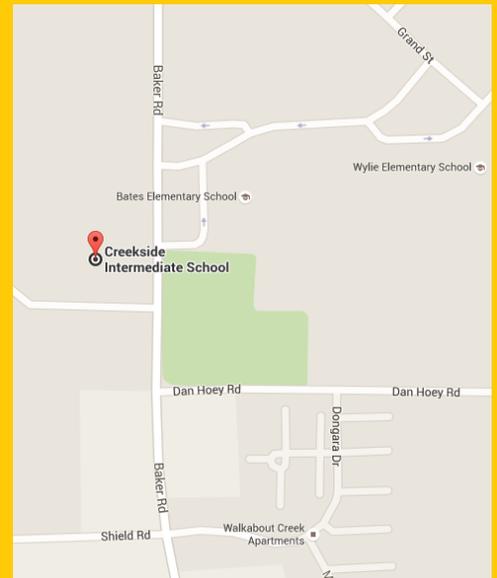
6.8.2016 BROAD STREET REDEVELOPMENT MEETING

FOREMOST DEVELOPMENT WILL PRESENT TWO
 SITE CONCEPTS FOR THE REDEVELOPMENT OF 3045
 BROAD STREET IN DEXTER



Development • Construction • Management
 For more information, visit:

www.dextermi.gov/3045-broad-street-redevelopment



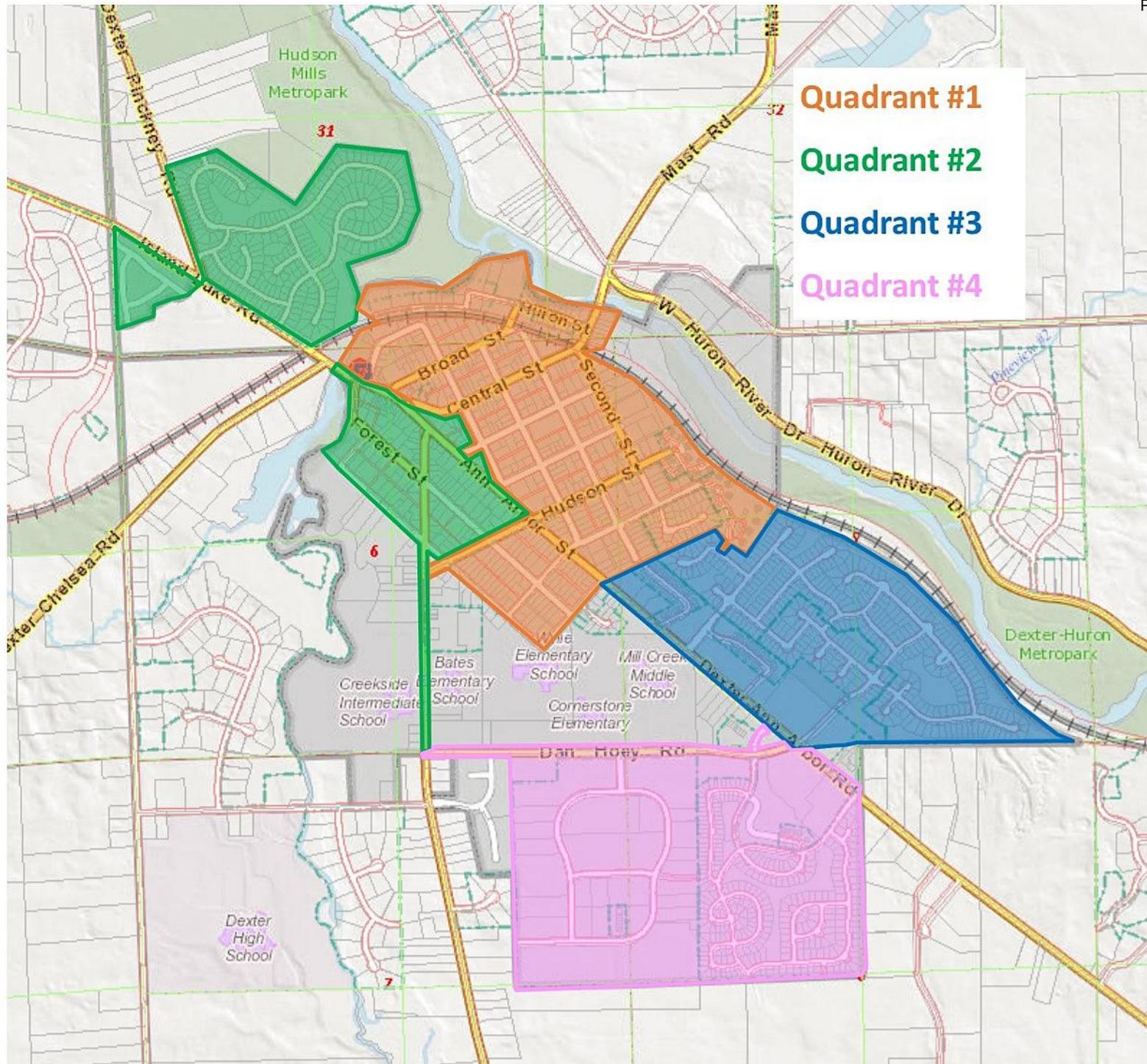
2615 BAKER ROAD,
 DEXTER, MI 48130

Comments received from Broad Street Redevelopment Public Meeting #1 (April 16, 2016):

- In shifting the portion of Broad Street, I think the intersection of Broad and Forest should stay where it is
- Mill Creek Park is a huge, beautiful asset and a tremendous visual marker. Some sort of line of sight through the building would be excellent. Glass/archways/walkways through the building. Not just one tiny one either
- Bulk and height are important to create and extend the downtown feel
- Public Art near Forest and Broad/Grand wall would be cool
- Maintain Broad St., but maybe move it
- I would like to have on the roof of the structure a place for receptions, parties, music, etc. The gatherings on top could be limited to just a few weekends in the summer
- There is a lot of conversation about historic feel and the building blending in with downtown, but the existing buildings were "new" at some point, and their existence should not stop us from creating something "new" and "modern" with a great deal of visual interest
- Joy Gee - Visually consistent with existing downtown structures
- The building needs retail
- There is little area in the downtown for expansion of commercial business. This area is prime for some. Forest St edge
- Be good to have new people come
- Parking for all new residents
- Condo unit w/dedicated parking for 2 cars
- All residential face park
- Retail along Forest
- Would like to see Broad St remain or be shifted/relocated
- Somehow preserve the DTE bldg. or a portion of it
- Forest - on street parking (all the way to Baker)
- Green roofs on top
- Preserve trees
- Bulk and height - pedestrian viewsheds, connections, gateways
- Enclosed parking
- Restaurant/Bar w/outdoor patio overlooking park
- Alpine parking garage - access to park/trail
- Chet Hill (with map comments)- Access to the trail system from the south should be maintained and parking
- Some sort of shared workplace for people that are afraid of condos/apartments because they lose their basement/garage to do things like wood working
- It would be expensive but underground parking would be fantastic
- Maybe some parking underground (to avoid sea of cars)
- The view of the river would be first-rate
- City needs more storefront-type commercial spaces
- I like the path on the Creek
- A major shortage of parking in this area and it will be worse in the future. The impact of the Border to Border is just starting
- Like the new building
- Not a tall building
- Outside Space/playground/splash pad for kids
- 2 or 3 stories
- Site design and layout is crucial to making project work
- Development character needs to it "historical" Dexter
- Landscape w/the bricks etc.
- Commercial extension - fit with MP
- Want the height
- Don't turn back on adjacent neighborhood - think of moving (existing)
- Want small setbacks
- Interesting view of bldg. when driving into city from West (Dex-Chel Rd, Dex-Pinck Rd)
- Ice cream w/view
- Room for 60 spaces/\$2.5 mil. Lack of funding
- Do what you can to preserve the large trees on the residential lot; it would be a shame to remove these trees for a parking lot
- 3-4 stories
- I hope an underground garage would be provided to house one car per household
- Parking is an issue
- Where does the road go?
- Keep Broad St
- Access to walking paths
- Owner occupied preferred
- Project must integrate w/planned Grand St trailhead
- Mostly residential w/small amount of commercial (Multiple buildings to create viewscapes)
- Parking limited at peak periods. Last study showed could handle more commercial
- Outdoor event space, align with retail/office and combo with the view
- Interest on façade from creek. Iconic
- Visual interest
- Nice architecture that fits our current downtown - old and new bldgs. e.g. . . . Library and Memorial
- Repurpose DTE substation
- Compliment the park trail amenities for recreation
- The west face is extremely important. Everybody will see this building. Creating some interest on this face is very important
- Structure should not detract from present and future public enjoyment of Mill Creek
- Don't like the idea of retail below condo unit
- Parking
- Retail 1st floor (Forest) Residential above (Forest)
- Broad to B trail - use parking. Dexter - Chelsea trail expansion
- Keep history but be unique
- Balconies/patios for each unit
- Streetscape/light poles match sidewalks width. Street trees plant like in the middle of town
- Can the building be "broken" to create a "window" to the water from the east?
- Conversation should be arranged between Foremost and developer of proposed residential area on Grand. Esp. re: Bike/Walk path
- 3 bedrooms if possible. We are willing to buy in soon as long as it meets our needs
- View to pond from Grand and alley
- Residential 1st floor and above facing park
- Calm traffic - same atmosphere
- 3 stories max
- I'd love to see you save the small Edison bldg. I understand the difficulties (its right in the middle of the sight) but it's a neat old bldg. with a lot of character. Why not use it for a freestanding shop of some sort?
- Preserve mature trees
- Minimal retail (maybe Forest)
- Communal interior green space
- Sun sets across the creek. Something to let the light in and still keep the landscape
- Greenspace/landscaping as possible w/access to walking paths
- Sufficient open space for proposed residential aspect of project
- Match downtown façade
- Brick façade/Earth tones
- On street parking for commercial
- More residential/small-scale commercial
- 1-2 bdrm units only - (maybe some efficiency)
- Waterscapes in landscaping

Comments received from Broad Street Redevelopment Public Meeting #2 (May 11, 2016):

- Maintain Broad Street but maybe move it
- Bulk and height are important to extend downtown
- Communal interior green space
- City needs more storefront-type commercial
- Ground level units seem uncomfortable
- Bike share
- Zip car
- 100 year lease of property
- Grand Ave to Forest Access
- Establish a historic district ordinance
- Commercial on Forest
- Does Commercial work on Broad?
- Way too much surface parking for a downtown project
- Looks like former Busch's site
- Need Include Public Art Spaces Resting Vistas
- Relocate Broad Street east of development
- View from River/Park is very important
- More creativity in layout of building and parking
- Long building don't fit character of Dexter
- Eliminate wave of buildings along park
- View from the creek is more important
- No big flat walls of balconies
- Extend residential down Grand
- Screen parking behind (east)
- Continue Grand Streetscape
- Any provision for workforce housing?
- Any less expensive units
- Ask city for a reduction in parking
- Slant buildings 3 or 5 degrees to add interest to entire project
- Short wall to separate living units from pathway
- Demark the park from the living units
- Why is the Developer using terminology that indicates they have a complete concept?
- Establishing ideas is the point of the meeting
- Parking is now a problem will the project make it worse?
- Why so many 75% one bedrooms?
- Make more money from smaller units
- Break up parking
- Building Mass > Parking
- A true parking lot would not add that "something extra"
- How it feels in context to downtown is more important
- All Residential no Commercial
- Density
- Asphalt parking public parking?
- Broad Street issue
- Limit the art
- No more than 3 stories
- Broad Street will be an issue





OFFICE OF COMMUNITY DEVELOPMENT

8140 Main Street • Dexter, Michigan 48130-1092 • (734) 426-8303 • Fax (734) 426-5614

STAFF REVIEW

To: Chairman Kowalski and Planning Commission
Courtney Nicholls, City Manager

From: Michelle Aniol, Community Development Manager

RE: CSPPR 2016-02 8080 Grand, LLC, revised plan dated April 5, 2016, received April 6, 2016

Date: May 31, 2016

The Planning Commission is scheduled to consider a revised combined preliminary and final site plan, submitted by Don Darnell, on behalf of 8080 Grand, LLC. The revised plan calls for the redevelopment of an existing single story concrete block building, at 8080 Grand Street, for business and professional offices and retail uses.

As you will recall, the applicant applied for special land use approval of a service establishment of an office/workshop/retail outlet or showroom nature for units 2 and 3, along with retail uses. A public hearing to consider the special land use request was scheduled for May 2, 2016. However, the applicant withdrew his request for special land use approval prior to the meeting. Consequently, the Planning Commission only considered the site plan for business and professional offices and retail uses, at its May 2, 2016 meeting. During the meeting the applicant requested the Planning Commission postpone action to its June meeting, and the Planning Commission obliged.

Accompanying staff's memo, you will find the consultants reviews, as well as the following information:

1. Application for Combined Site Plan Review & Special Land Application, received April 4, 2016
2. Request to amend application and withdrawn Special Land Use request, received May 2, 2016
3. Revised Preliminary and Final Site Plan dated, April 5, 2016
4. Review letters from:
 - a. OHM dated, May 19, 2016
 - b. CWA dated, May 19, 2016
 - c. DAFD dated, May 11, 2016

Pursuant to Section 21.05 of the City of Dexter Zoning Ordinance staff has authorized the applicant to submit for combined preliminary and final site plan, based on the nature of the applicant's request. Please note that the site plan is combined preliminary and final, and as such, the Planning Commission/City Council will NOT see the site plan following action.

REVIEW COMMENTS

Concerns expressed by the CWA and DAFD were minor and can easily be addressed on a revised site plan. However, OHM cited a number of issues involving public utilities, paving, stormwater management, sanitary sewer and other general concerns that must be addressed. OHM indicated these issues were primarily due to the fact the applicant had not secured an engineer at the time of submittal. The applicant has since hired a design engineer and OHM indicated it is confident the outstanding issues can be resolved by the applicant's engineer, on a revised plan.

ADDITIONAL SITE PLAN CONSIDERATIONS

Parking - According to Section 5.01 and 5.09 of the Zoning Ordinance, within the Village Commercial zoning district, there are two options for meeting parking requirements; on-site private parking or

participation in the City's voluntary Public Parking Program. The Public Parking Program provides a mechanism for development proposals that have trouble meeting the off-street parking requirements. The parking requirement may be met by the applicant contributing \$2,500 for each required space to the voluntary "Public Parking Fund."

According to Section 5.03, three (3) parking spaces per 1,000 square feet of gross floor area are required for business and professional offices and retail uses. A total of 19 parking spaces are required for this development. The site plan shows 12 on-site parking spaces and 2 on-street parking spaces, for a total of 14 parking spaces. Thus, there is a 5 parking space deficiency. If the applicant cannot correct the parking space deficiency, as cited herein, a contribution to the Public Parking Fund, in the amount of \$12,500 (\$2,500 x 5) would be necessary.

SUGGESTED MOTIONS – CSPR 2016-02 8080 Grand, LLC

Based on the information provided by the applicant and reflected in the minutes of this meeting, and pursuant to Section 21.04, sub-section E6 Planning Commission Action, the Planning Commission recommends that City Council (**APPROVE/DENY**) CSPR 2016-02 8080 Grand, LLC Combined Preliminary and Final Site Plan, dated May 5, 2016, for the redevelopment of 8080 Grand Street, for business and professional offices and retail uses, subject to the following conditions:

1. Five additional parking spaces shall be provided on a revised site plan or the applicant shall submit a contribution to the Public Parking Fund, in the amount of \$12,500.00;
2. The parking calculations table shall be updated on a revised plan, as cited in the CWA review letter, dated May 11, 2016;
3. A revised site plan shall be submitted addressing all issues cited in the OHM review dated, May 19, 2016 and shall be reviewed by the engineer and staff prior to consideration by City Council; and
4. Comments of the DAFD review, dated May 11, 2016.

OR

Based on the information provided by the applicant and reflected in the minutes of this meeting, and pursuant to Section 21.04, sub-section E6 Planning Commission Action, the Planning Commission moves to **POSTPONE** action on CSPR 2016-02 8080 Grand, LLC Combined Preliminary and Final Site Plan, dated May 5, 2016, for the redevelopment of 8080 Grand Street, for business and professional offices and retail uses, until **(DATE)**, to allow the applicant more time to address the following issues:

1. Five additional parking spaces shall be provided on a revised site plan or the applicant shall submit a contribution to the Public Parking Fund, in the amount of \$12,500.00;
2. The parking calculations table shall be updated on a revised plan, as cited in the CWA review letter, dated May 11, 2016;
3. A revised site plan shall be submitted addressing all issues cited in the OHM review dated, May 19, 2016, and
4. Comments of the DAFD review, dated May 11, 2016.

8080 GRAND ST DEXTER, MI

SHEET INDEX

SHEET NO.	SHEET TITLE
S-1	SHEET INDEX, ZONING DATA, PROPOSED SITE PLAN
S-2	EXISTING SITE/ SITE DEMO/ SOIL EROSION PLAN
S-3	EXISTING TOPOGRAPHICAL & BOUNDARY SURVEY
S-4	GRADING PLAN & SITE DETAILS
S-5	LANDSCAPING PLAN
S-6	PHOTOMETRIC PLAN BY RAB LIGHTING
S-7	SITE LIGHTING DATA
S-8	SITE DETAILS
A-1	FLOOR PLAN
A-2	BUILDING ELEVATIONS
A-3	RENDERING

LEGAL DESCRIPTION/ PARCEL A

COMMENCING AT THE WEST CORNER OF LOT 8, BLOCK 24, "VILLAGE OF DEXTER", WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 27 OF DEEDS, PAGE 632, WASHTENAW COUNTY RECORDS; THENCE S47°59'00"E 66.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET; THENCE N42°22'51"E 198.50 FEET TO A POINT THAT BEARS S47°53'11"E 66.00 FEET ALONG THE SOUTHWESTERLY LINE OF A 24 FT WIDE ALLEY FROM THE NORTH CORNER OF SAID LOT 8; THENCE ALONG THE SOUTHWESTERLY RIGHT OF WAY LINE OF SAID ALLEY S47°53'11"E 24.00 FEET; THENCE S42°22'52"W 198.56 FEET; THENCE N 47°59'00"W 24.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET TO THE POINT OF BEGINNING. BEING A PART OF LOT 8, BLOCK 24, "VILLAGE OF DEXTER", WASHTENAW COUNTY, MICHIGAN AS RECORDED IN LIBER 27 OF DEEDS, PAGE 632, WASHTENAW COUNTY RECORDS AND CONTAINING 4,756 SQ FEET OF LAND, MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

LEGAL DESCRIPTION/ PARCEL B

COMMENCING AT THE WEST CORNER OF LOT 8, BLOCK 24, "VILLAGE OF DEXTER", WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 27 OF DEEDS, PAGE 632, WASHTENAW COUNTY RECORDS; THENCE S47°59'00"E 90.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET; THENCE N42°22'51"E 198.56 FEET TO A POINT THAT BEARS S47°53'11"E 66.00 FEET ALONG THE SOUTHWESTERLY LINE OF A 24 FT WIDE ALLEY FROM THE NORTH CORNER OF SAID LOT 8; THENCE ALONG THE SOUTHWESTERLY RIGHT OF WAY LINE OF SAID ALLEY S47°53'11"E 77.00 FEET; THENCE S42°22'52"W 198.43 FEET; THENCE N 47°59'00"W 77.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET TO THE POINT OF BEGINNING. BEING A PART OF LOTS 7 AND 8, BLOCK 24, "VILLAGE OF DEXTER", WASHTENAW COUNTY, MICHIGAN AS RECORDED IN LIBER 27 OF DEEDS, PAGE 632, WASHTENAW COUNTY RECORDS AND CONTAINING 16,284 SQ FEET OF LAND, MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

UTILITY USAGE/ RESIDENTIAL EQUIVALENT UNITS

TENANT	PREVIOUS USE	PROPOSED USE
TENANT 1 1,019 SF	RETAIL SALES AREA 3 REU PER 1,000SF 1,019/ 1,000 x .3 =	RETAIL SALES AREA 3 REU PER 1,000SF 1,019/ 1,000 x .3 =
TENANT 2 2,003 SF	NON-RETAIL WORK AREA SUCH AS GARAGE OR WAREHOUSE .5 REU PER 1,000SF 2,003/ 1,000 x .5 =	RETAIL SALES AREA .3 REU PER 1,000SF 2,003/ 1,000 x .3 =
TENANT 3 3,308 SF	NON-RETAIL WORK AREA SUCH AS GARAGE OR WAREHOUSE .5 REU PER 1,000SF 3,308/ 1,000 x .5 =	RETAIL SALES AREA .3 REU PER 1,000SF 3,308/ 1,000 x .3 =
	PREVIOUS USE	PROPOSED USE
	2.9	1.9

SITE LIGHTING SCHEDULE

ID	FIXTURE	MOUNTING HEIGHT
1	NOT USED	
2	NOT USED	
3	RAB LIGHTING/ WPLED3T50FX 50W AREA LIGHT CONTROLLED BY PHOTOCCELL TYPE 4 LIGHT DISTRIBUTION FOR PARKING AREA	14'-6 FT
4	NOT USED	

CITY OF DEXTER STANDARD NOTES

1. NOTIFY THE CITY OF DEXTER AND THE CITY ENGINEER A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST CONFORM TO THE CURRENT ENGINEERING STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF DEXTER.
3. NO PAVING OR EXCAVATION FOR PAVING SHALL BE ALLOWED UNTIL THE SANITARY SEWERS, WATER MAIN, STORM SEWERS, AND/OR COUNTY DRAIN CLEAN OUT CONSTRUCTION HAS BEEN APPROVED BY THE CITY.
4. CALL MISS DIG (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE PRIOR TO THE START OF CONSTRUCTION.
6. ALL EXCAVATION UNDER THE INFLUENCE OF PAVEMENT, INCLUDING SIDEWALKS AND DRIVEWAYS, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH CLASS II SAND TO 95% OR MAXIMUM UNIT WEIGHT.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THE CONDITION THAT EXISTED PRIOR TO THE START OF CONSTRUCTION.
9. WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM, OR SUNRISE TO SUNSET, WHICHEVER IS LESS.

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SITE PLAN REVISION 5 APR 2016
SITE PLAN REVIEW 4 APR 2016
PRELIM SITE 9 MAR 2016
PRELIM SITE 1 MAR 2016
EX. FLOOR PLAN 19 DEC 2014
EX. SITE 5 DEC 2014

focus / design
Todd Ballou, Registered Architect
www.focusdesign.us
(734) 276-2110
focusdesign@comcast.net
3300 Berry Rd., Ypsilanti, MI 48198

LEGAL DESCRIPTION/ COMBINED PARCELS A & B

COMMENCING AT THE WEST CORNER OF LOT 8, BLOCK 24, "VILLAGE OF DEXTER" (NOW THE CITY OF DEXTER), WASHTENAW COUNTY, MICHIGAN, AS RECORDED IN LIBER 27 OF DEEDS, PAGE 632, WASHTENAW COUNTY RECORDS; THENCE S47°59'00"E 66.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET; THENCE N42°22'51"E 198.60 FEET TO A POINT THAT BEARS S47°53'11"E 66.00 FEET ALONG THE SOUTHWESTERLY LINE OF A 24 FT WIDE ALLEY FROM THE NORTH CORNER OF SAID LOT 8; THENCE ALONG THE SOUTHWESTERLY RIGHT OF WAY LINE OF SAID ALLEY S47°53'11"E 24.00 FEET TO A POINT BETWEEN LOTS 7 & 8; THENCE S47°53'11"E 77.00 FEET; THENCE S42°22'52"W 198.43 FEET; THENCE N 47°59'00"W 77.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET TO A POINT BETWEEN LOTS 7 & 8; THENCE N 47°59'00"W 24.00 FEET ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF GRAND STREET TO THE POINT OF BEGINNING. BEING A PART OF LOTS 7 & 8, BLOCK 24, "VILLAGE OF DEXTER", (NOW CITY OF DEXTER) WASHTENAW COUNTY, MICHIGAN AS RECORDED IN LIBER 27 OF DEEDS, PAGE 632, WASHTENAW COUNTY RECORDS AND CONTAINING 20,049 SQ FEET (0.46 ACRE) OF LAND, MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

PROJECT OWNER/ APPLICANT:

8080 GRAND LLC
7926 ANN ARBOR ST.
DEXTER, MI 48130
734-417-3911

PROJECT DESCRIPTION:

INTERIOR RENOVATION OF EXISTING BUILDING TO CREATE 3 TENANTS. INCLUDES NEW TOILET ROOMS, KITCHENETTE, HVAC UNITS.
SITE DEVELOPMENT TO MEET ZONING REQUIREMENTS: NEW PARKING LOT, SIDEWALK, LANDSCAPING, DUMPSTER, AND RAIN GARDEN

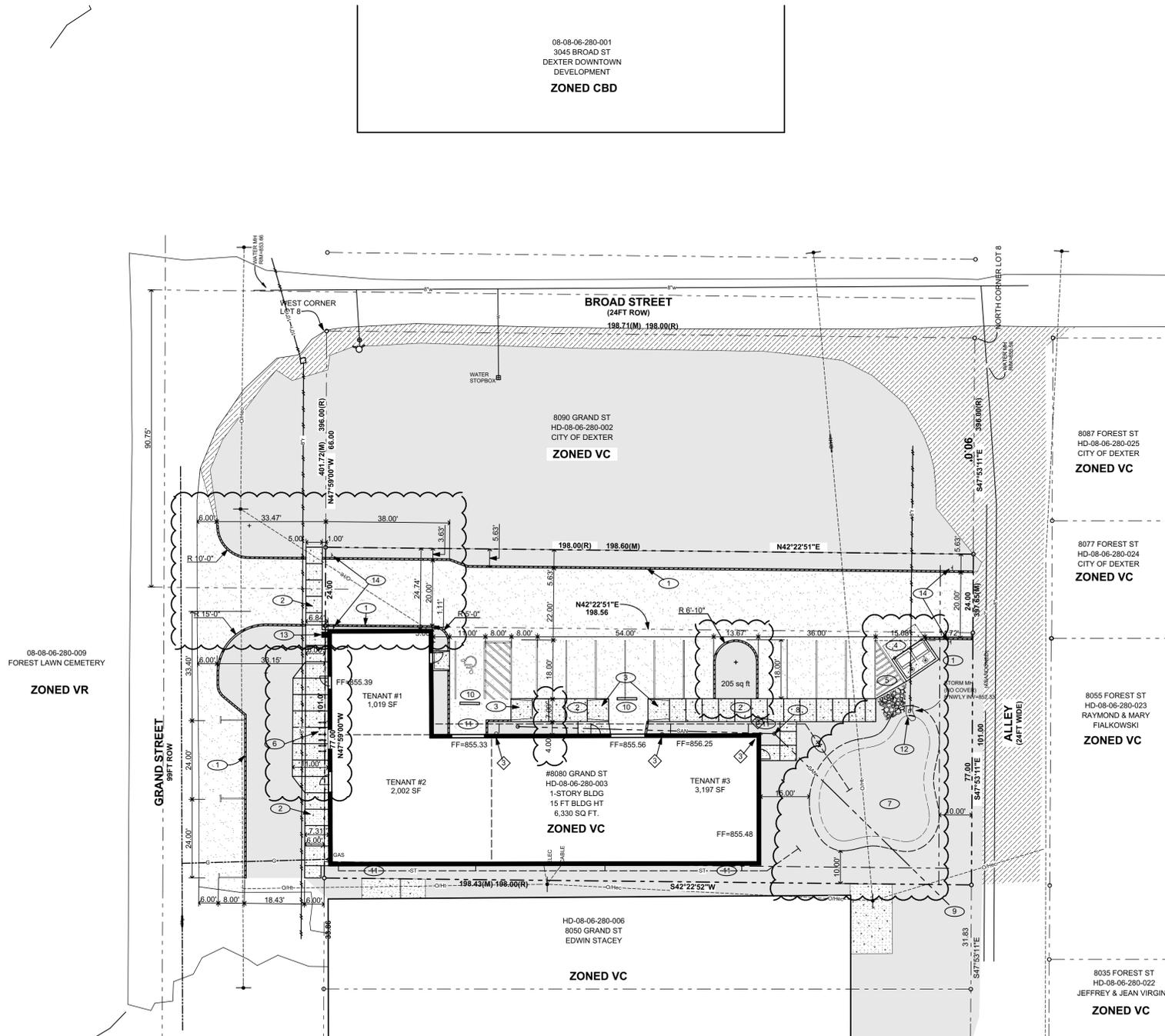
AREA ANALYSIS

	EXISTING	PROPOSED
EX. BUILDING AREA	6,330 SF	6,330 SF
EXISTING BLDG FOOTPRINTS	6,330 SF	TENANT 1 1,019 SF TENANT 2 2,003 SF TENANT 3 3,308 SF
EX. LOT AREA	20,049 SF (0.46 ACRES)	
EX. LOT COVERAGE	6,219 SF / 20,049 SF = 31.0%	

SCHEDULE OF REGULATIONS

ZONED VC	REQ'D	EXISTING	PROPOSED	VARIANCE
VILLAGE COMMERCIAL				
MIN LOT AREA	N/A	20,049 SF	NO CHANGE	NONE
MIN LOT WIDTH	N/A	101.0 FT	NO CHANGE	NONE
MAX FRONT YARD	15.0 FT MAX	0.82 FT	NO CHANGE	NONE
MIN LEAST SIDE	5.0 FT	3.76 FT	NO CHANGE	EX. NON CONFORMITY
MIN TOTAL SIDES	10.0 FT	28.55 FT	NO CHANGE	NONE
MIN REAR YARD	10.0 FT	64.67 FT	NO CHANGE	NONE
MAX LOT COVERAGE	80.0 %	31.0 %	NO CHANGE	NONE
MAX BLDG HEIGHT	45.0 FT	15.0 FT	NO CHANGE	NONE
		3 STORIES	1 STORY	NO CHANGE

	EXISTING	CHANGE	PROPOSED
IMPERVIOUS AREAS	18,626 SF	-4,352 SF	14,274 SF
EX. BUILDING	6,330 SF		6,330 SF
FLAT CONCRETE	3,903 SF	-2,813 SF	1,090 SF
ASPHALT	0 SF	+6,687 SF	6,687 SF
CURBS	0 SF	+167 SF	167 SF
GRAVEL	8,393 SF	-8,393 SF	0 SF
PERVIOUS AREAS	1,423 SF	+4,352 SF	5,775 SF
GRASS/ MULCH	7.1% OF SITE		28.9% OF SITE
SITE AREA	20,049 SF		20,049 SF
	0.46 ACRES		0.46 ACRES



SITE PLAN

1" = 20'

PARKING REQUIREMENTS

TENANT #1- 1,019 SF / 1,000 x 3 = 3.1 SPACES BUSINESS OR RETAIL USES 3 PER 1,000SF	3
TENANT #2- 2,003 SF / 1,000 x 3 = 6.0 SPACES BUSINESS OR RETAIL USES 3 PER 1,000SF	6
TENANT #3- 3,308 SF / 1,000 x 3 = 9.9 SPACES BUSINESS OR RETAIL USES 3 PER 1,000SF	10
TOTAL PARKING REQUIREMENT 19.0	19
PROVIDED ONSITE	13

SITE NOTES

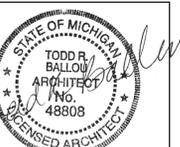
1. NEW CURB- SEE DETAIL 4/ SHEET S7
2. NEW CONC SIDEWALK- SEE DETAIL 3/ SHEET S7
3. SIDEWALK RAMP. MAX SLOPE 1:12
4. PROPOSED TRASH ENCLOSURE. TRASH WILL BE DELIVERED TO CURB FOR PICK-UP. NOT DESIGNED OR INTENDED FOR TRUCK PICK-UP. SEE DETAIL 6 & 7/ SHEET S7
5. SPILLWAY TO RAIN GARDEN
6. (B) BIKE HOOPS
7. RAIN GARDEN- SEE DETAILS 1 & 2/ SHEET S7
8. EX. SANITARY DRAIN IN POOR CONDITION TO BE REPLACED WITH 4" PVC DRAIN
9. EX. SANITARY DRAIN TO PUMP STATION
10. BUMPER BLOCK
11. 6" CORRUGATED PLASTIC PIPE TO COLLECT STORM WATER FROM DOWNSPOUTS
12. EX. DRAIN STRUCTURE BECOMES RAIN GARDEN OVERFLOW
13. KNOX BOX FOR ACCESS BY FIRE DEPARTMENT
14. NO PARKING- FIRE LANE SIGN. MIN 18" x 12" WITH RED LETTERS AND WHITE REFLECTIVE BACKGROUND

	PROPOSED HOT MIX ASPHALT (HMA) 56A		EXISTING CURB
	GRASS OR MULCH		PROPOSED CONTOUR LINE
	CONCRETE		EXISTING CONTOUR LINE
	EXISTING ASPHALT		
	EXISTING GRAVEL		

PROJECT:
8080 GRAND ST
8080 GRAND ST.
DEXTER, MI

TITLE: **SITE PLAN**

JOB NO:
1431



SHEET NO.

S-1

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SITE PLAN REVISION 5 APR 2016
SITE PLAN REVIEW 4 APR 2016
PRELIM SITE 9 MAR 2016
PRELIM SITE 1 MAR 2016
EX. FLOOR PLAN 19 DEC 2014
EX. SITE 5 DEC 2014

focus / design
Todd Ballou, Registered Architect
(734) 276-2110
www.focusdesign.us
focusdesign@comcast.net
3300 Berry Rd., Ypsilanti, MI 48198

SOIL EROSION NOTES

PROPERTY OWNER:
8080 GRAND LLC
(734) 417-3911
EMAIL: dondarnell@darnell-law.com

- APPROX 653 YDS OF SOIL WILL BE REMOVED FROM THE SITE FOR PAVING AND RAIN GARDENS. APPROX 56 YDS OF SOIL WILL BE ADDED TO RAISE DRIVEWAY. NET 597 CY CUT.
- CUT SOIL WILL BE REMOVED IMMEDIATELY FROM THE SITE. SOIL WILL NOT BE STOCKPILED ON SITE.
- LIMITS OF CONSTRUCTION AS SHOWN ON PLAN IS 17,646 SF / 0.41 ACRE
- ALL AREAS WILL BE STABILIZED WITH MULCH AND PLANTINGS AS SHOWN ON THE LANDSCAPE PLAN. AREAS NOT INDICATED AS MULCH WILL BE STABILIZED WITH NEW SOD.
- NO DEWATERING OPERATIONS WILL OCCURE.
- PROPERTY OWNER, 8080 GRAND LLC, WILL BE RESPONSIBLE FOR PERMANENT SOIL EROSION CONTROL MEASURES, AND SITE MAINTENANCE. SEE CONTACT INFORMATION ABOVE.
- ENTIRE SITE IS 20,049 SF / 0.46 ACRE.
- SILT FENCE TO BE INSTALLED BEFORE SOIL IS DISTURBED, AND REMAIN IN PLACE UNTIL SOIL IS STABILIZED.
- BASED ON EWASHTENAW MAPS SOIL SURVEY, ONSITE SOILS ARE (OsB) LOAMY SAND.

EXISTING SITE & SITE DEMOLITION NOTES

- REMOVE CONCRETE ON SITE AND IN R.O.W.
- REMOVE EX. METAL HATCH
- REMOVE EX. TREE
- REMOVE BUMPER BLOCKS. SALVAGE FOR REUSE
- REMOVE PLANTER BORDER
- REMOVE EXISTING FLOOD LIGHT
- REMOVE SHALLOW DRAIN AT RAIN GARDEN LOCATION
- TEMPORARY SOIL EROSION CONTROL MEASURE- SILT FENCE. SEE DETAIL.
- WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION OsB SOIL- OSHTEMO LOAMY SAND, 0-6% SLOPES. SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY

- EXISTING GRASS/ VEGETATION
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING GRAVEL

← INDICATES EXISTING DRAINAGE FLOW

▬▬▬▬▬ LIMITS OF CONSTRUCTION

PROJECT:
8080 GRAND ST
8080 GRAND ST.
DEXTER, MI

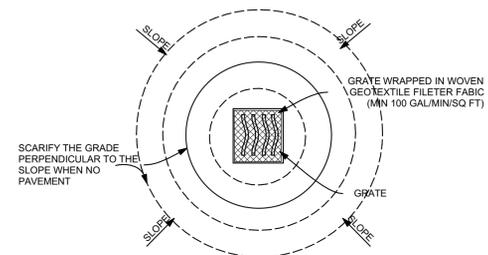
TITLE: **EX. SITE & SOIL EROSION PLAN**

JOB NO:
1431

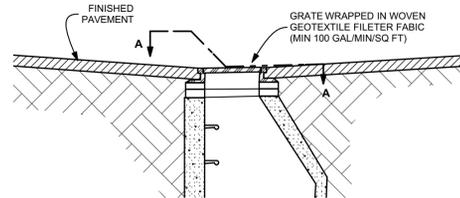


SHEET NO.

S-2



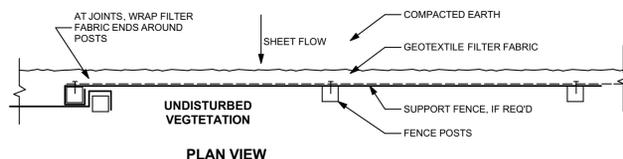
PLAN VIEW



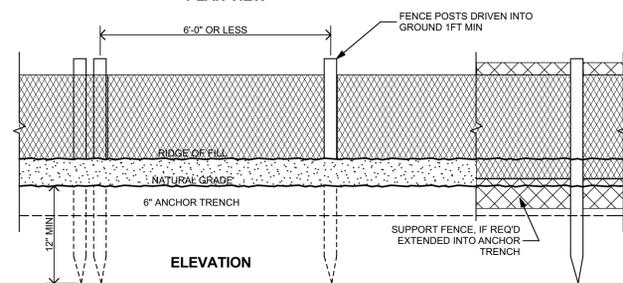
PROFILE VIEW

ALTERNATIVE INLET FILTER MUST BE USED IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING

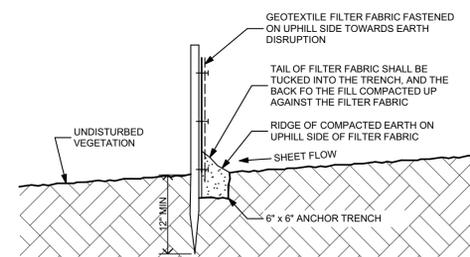
2
S2 **LOW POINT INLET FILTER (SI-1)**
Scale 1" = 1' - 0"



PLAN VIEW

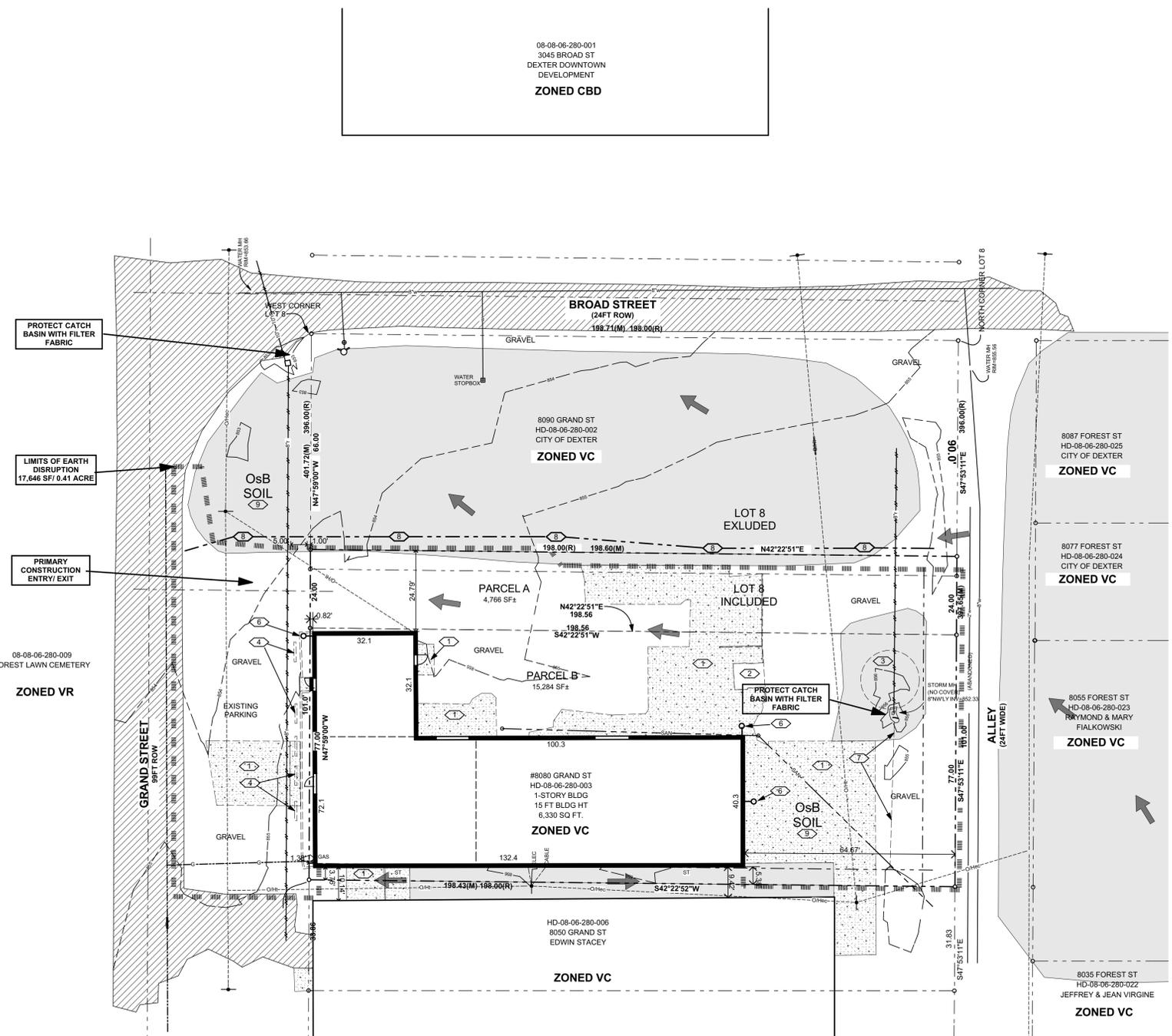


ELEVATION



SECTION VIEW

1
S2 **SILT FENCE DETAIL**
Scale 1" = 1' - 0"

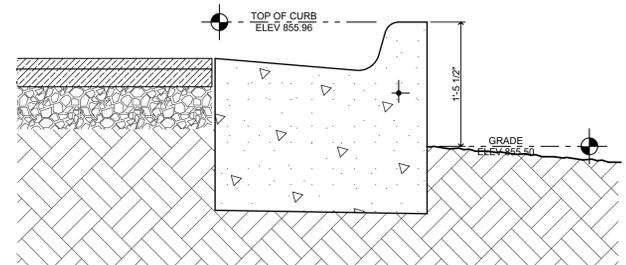


EX. SITE & SOIL EROSION PLAN

1" = 20'



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1
S4 **DRIVEWAY HIGH POINT DETAIL**
Scale 1" = 1'-0"

Existing Impervious Area

Area	Surface	C _{runoff}	Area (sf)	AC
Building Area	Roof	0.95	6,330	6,014
Paved Areas	Concrete	0.95	3,903	3,708
Gravel	gravel	0.80	8,393	6,714
			Sum (A X C)	
Total Ex. Impervious Area			16,436	sf

Proposed Impervious Area

Area	Surface	Type	C _{runoff}	Area (sf)	AC
Building Area	Roof		0.95	6,330	6,014
Asph:	Asphalt		0.95	6,637	6,305
Concrete	Concrete		0.95	1,070	1,017
			Sum (A X C)		
Total Proposed. Impervious Area			13,335	sf	

Net Decrease in Impervious Area **-3,101** **sf**

Retention Volume (Vt) for Design Area

A= Design Area	13,335	sf
A= Design Area	0.306	ac
C = Run-Off Coefficient (for Design Area)	0.95	
Vt = 33,000 x A x C	(Vt) 9,597	cf

Storage Capacity of Rain Garden

Rim Area of Depression	1,780	sf
Base Area of Depression	1,270	sf
Depth of Depression (slope rise)	1.5	ft
Base Area above grade	1,905	CF
Sloped Ring Volume	382.5	
Volume of Depression Above grade	2,288	cf
Depth of Soil Mix	3	ft
Voids of Soil	20%	
Depth of Gravel Layer	3	ft
Voids of Gravel	40%	
Volume below grade	2,286	cf

OVERALL STORAGE CAPACITY **4,574** **cf**

Capacity of Rain Garden is 48% of (Vt) for Design Area
Overflow should be expected periodically

Infiltration Rate of Rain Garden

OsB Loamy Sand Absorption Rate (2.5 in/ hr)	0.208	ft/hr
Base Area of Rain Garden	1270	sf
Actual Infiltration Rate per hour	265	cf/hr
Actual Infiltration Capacity for 24 hour period	6,350	cf/24hr
Actual drawdown rate provided	264.6	cf/hr
Overall drawdown time for design Volume (Vt)	36.3	hr

CITY OF DEXTER WATER MAIN NOTES

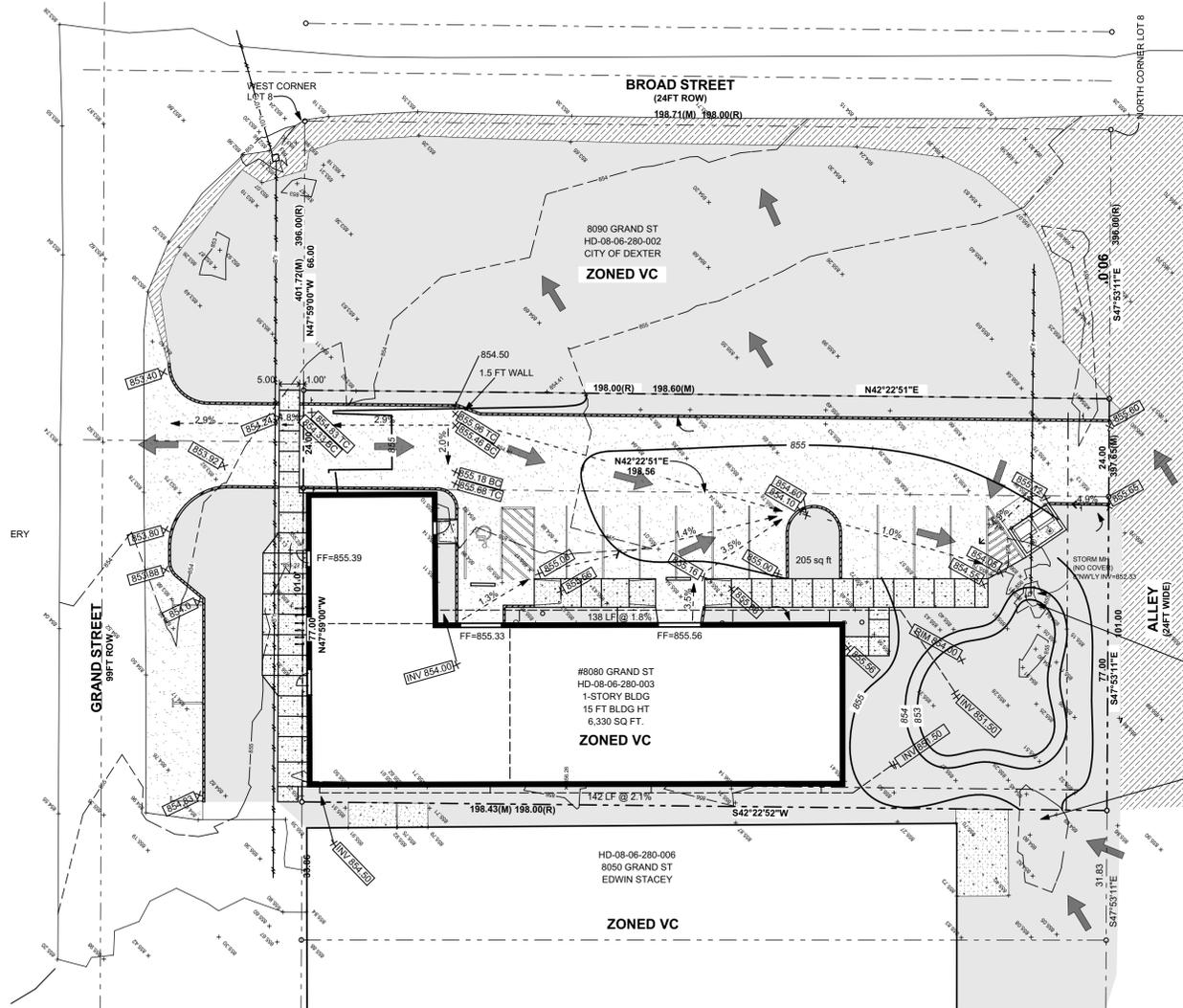
1. ALL WATER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS OF THE CITY OF DEXTER AND ANY OTHER AGENCY HAVING JURISDICTION OVER THE CONSTRUCTION AREA.
2. ALL SURFACE STRUCTURES, SUCH AS HYDRANTS, GATE VALVES, AND GATE BOXES SHALL BE SET TO GRADE AS APPROVED BY THE CITY ENGINEER.
3. WATER MAIN SHALL BE PLACED LEVEL THROUGH ALL GATE WELLS.
4. PROVIDE A MINIMUM OF 5.5 FT OF COVER BELOW EXISTING ROADWAY CENTERLINE ELEVATION OR EXISTING ELEVATION AT WATER MAIN LOCATION, WHICHEVER IS LOWEST.
5. WHEN JACKING AND BORING, ALL VOIDS SHALL BE FILLED BY MEANS OF PRESSURE GROUTING WITH 1:3 CEMENT-SAND MORTAR. THIS WORK MUST BE ACCOMPLISHED WITHIN 24 HOURS OF THE WATER MAIN BEING SUCCESSFULLY TESTED. WATER MAIN JACKING OR BORING SHALL EXTEND A MINIMUM OF 10 FEET BEYOND THE EDGES OF THE PAVEMENT.
6. FIRE HYDRANTS SHALL BE EAST JORDAN IRON WORKS MODEL 5BR, A-423 CONFORMING TO A.W.W.A. C-502 IMPROVED HYDRANT SPECIFICATION. ALL FIRE HYDRANTS SHALL BE EQUIPPED WITH 4-INCH STORZ CONNECTION.
7. GATE VALVES FOR SIZES 6-INCH THROUGH 16-INCH WATER MAIN SHALL BE IRON BODY, FULLY BRONZE MOUNTED, RESILIENT WEDGE WITH NON-RISING STEMS, OPENING COUNTERCLOCKWISE WITH A 2-INCH SQUARE OPERATING NUT. VALVES SHALL CONFORM TO A.W.W.A. C-500 SPECIFICATIONS. VALVES SHALL BE DESIGNED FOR A WORKING PRESSURE OF 200 PSI AND A TEST PRESSURE OF 400 PSI. VALVES SHALL BE ORDERED WITH INLET AND OUTLET CONNECTIONS COMPATIBLE TO THE WATER PIPE JOINT USED ON THE SYSTEM.
8. WATER SERVICE AND WATER MAIN PIPE SHALL BE:
 - A. 1-INCH THROUGH 2-INCH DIAMETER SERVICE LINES SHALL BE DOMESTIC "K" COPPER.
 - B. 4-INCH THROUGH 16-INCH DIAMETER WATER MAIN SHALL BE DUCTILE IRON A.N.S.I. A-21-55-65 CLASS 54.
9. CONNECTION TO EXISTING WATER MAIN SHALL BE MADE ONLY AFTER HYDROSTATIC AND BACTERIOLOGICAL TESTS HAVE BEEN SUCCESSFULLY COMPLETED AND APPROVED BY THE CITY ENGINEER OR THE CITY OF DEXTER UTILITIES DEPARTMENT.
10. COMPACTED SAND BACKFILL CONSISTING OF MDOT CLASS II GRANULAR MATERIAL COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT MUST BE PLACED IN ALL TRENCHES WITHIN THE 1:1 INFLUENCE OF THE ROADWAY, SIDEWALK, BIKE PATH, ETC.
11. A THRUST BLOCK IS ONLY ALLOWED WITH PRIOR APPROVAL OF THE CITY ENGINEER. OTHERWISE, USE THE JOINT RESTRAINT SCHEDULE WITH BENDS.
12. FLUSHING SHALL INCLUDE THE USE OF A "POLLY PIG" OR APPROVED EQUAL EQUIPMENT. TO REMOVE ACCUMULATED DEPOSITS AS DIRECTED BY THE CITY ENGINEER.
13. POLYETHYLENE ENCASUREMENT SHALL BE INSTALLED ON ALL DUCTILE IRON WATER MAIN AND FITTINGS. POLYETHYLENE ENCASUREMENTS SHALL BE THE REQUIREMENTS SPECIFIED IN A.W.W.A. C-105 (A.N.S.I. A-21.5) LATEST REVISION, AS DIRECTED BY THE CITY ENGINEER.
14. ALL PUBLIC WATER MAIN SHALL CONTAIN TRACER WIRE.

CITY OF DEXTER SANITARY SEWER NOTES

1. ALL SEWER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS OF THE CITY OF DEXTER AND THE AGENCY OR AGENCIES HAVING JURISDICTION OVER THE CONSTRUCTION AREA.
2. ALL MANHOLE RIMS SHALL BE SET TO GRADE AS APPROVED BY THE VILLAGE ENGINEER.
3. RISERS ON SANITARY SEWERS SHALL BE INSTALLED IN LOCATIONS WHERE THE SEWER IS OVER 10 FT DEEP. RISERS SHALL BE INSTALLED TO A DEPTH OF 10 FT BELOW THE FINISHED GROUND LEVEL.
4. ONE SANITARY SEWER SERVICE LEAD SHALL BE PROVIDED FOR EACH LOT, AT THE CENTER OF THE LOT, ALONG THE ROUTE OF THE SANITARY SEWER UNLESS SPECIFIED. THE SANITARY SEWER SERVICE LEAD SHALL EXTEND A MINIMUM OF 2 FEET BEYOND THE UTILITY EASEMENT OR RIGHT-OF-WAY. (PROPOSED OR EXISTING.)
5. ALL MANHOLES SHALL USE ELECTRIC CONES PLACED TOWARD THE PROPERTY LINE UNLESS OTHERWISE NOTED.
6. INFILTRATION FOR ANY SECTION OF SEWERS SHALL NOT EXCEED 200 GALLONS PER INCH DIAMETER PER MILE OF SEWER PER 24 HR PERIOD.
7. NO FOOTING OR ROOF DRAIN SHALL BE CONNECTED TO THE SANITARY SEWER.
8. DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED 6 FEET.
9. NO CONNECTION RECEIVING STORM WATER, SURFACE WATER, OR GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
10. ALL SANITARY SEWERS SHALL BE SUBJECT TO TELEVISION INSPECTION AND AIR INFILTRATION OR EXFILTRATION TESTS, OR A COMBINATION OF THE SAME, PRIOR TO ACCEPTANCE. ALL SEWERS OVER 24 INCHES IN DIAMETER SHALL BE SUBJECTED TO AIR INFILTRATION TESTS. ALL SEWERS 24 INCHES IN DIAMETER AND SMALLER, WHERE THE GROUND WATER LEVEL IS OVER 2 FEET ABOVE THE TOP OF THE PIPE SHALL BE SUBJECTED TO INFILTRATION TESTS. ALL SEWERS 24 INCHES IN DIAMETER AND SMALLER, WHERE THE GROUND WATER LEVEL IS 2 FEET OR LESS ABOVE THE TOP OF THE PIPE SHALL BE SUBJECTED TO AIR TESTS OR EXFILTRATION TESTS.
11. ALL SEWERS SHALL BE TELEVIEWED, WITH TEST RESULTS APPROVED BY THE CITY ENGINEER OR THE CITY OF DEXTER UTILITIES DEPARTMENT PRIOR TO PLACING THE SEWER IN SERVICE. COPIES OF THE TAPE MUST BE SUBMITTED TO THE CITY OF DEXTER AND WILL NOT BE RETURNED.
12. MANDREL TESTING SHALL TAKE PLACE TO ENSURE THAT FLEXIBLE PIPE HAS BEEN PROPERLY BEDDED AND BACKFILLED. THE DEFLECTION TEST MUST BE CONDUCTED NO LESS THAN 30 DAYS AFTER INSTALLATION OF FINAL BACKFILL. THE MAXIMUM ALLOWED DEFLECTION IS 5%. A NINE-ARM (POINT) MANDREL SHALL BE USED.
13. ALL SANITARY SEWER STUBS SHALL HAVE A WATER AND AIR-TIGHT BULKHEAD WITH A MARKER DESIGNATING THE LOCATION OF THE STUB.

CITY OF DEXTER STORM SEWER NOTES

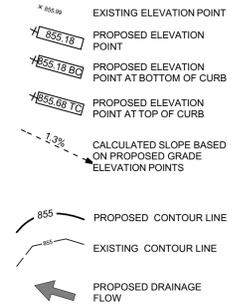
1. ALL CASTING RIMS SHALL BE SET TO GRADE AS FURNISHED OR APPROVED BY THE CITY ENGINEER.
2. ALL STORM SEWER PIPES SHALL BE C76-IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
3. ALL CATCH BASIN LEADS SHALL BE A MINIMUM 12" DIAMETER C76-IV REINFORCED CONCRETE PIPE.
4. CATCH BASIN AND INLET FRAME COVERS SHALL BE SPECIFIED AS FOLLOWS:
 - A. WHEN LOCATED IN PAVEMENT EDGE GUTTER LINE, FRAME AND COVER SHALL BE EJIW NO. 5080 OR EQUIVALENT.
 - B. WHEN LOCATED IN PAVED AREAS, OTHER THAN EDGE GUTTER LINE, FRAME SHALL BE EJIW NO. 1040 WITH TYPE 'M' COVER OR EQUIVALENT.
 - C. WHEN LOCATED IN YARD AREAS, FRAMES SHALL BE EJIW NO. 1040 WITH TYPE 'V' COVER OR EQUIVALENT.
5. MANHOLE STEPS WILL BE REINFORCED POLYPROPYLENE PLASTIC #PS-2-PFS OR APPROVED EQUAL.
6. RUBBER JOINTS SHALL BE USED IN LOCATIONS WHERE THE HYDRAULIC GRADIENT IS ABOVE THE PIPE AND WHEN STORM SEWER IS LOCATED IN AN EASEMENT AREA.



REVISIONS TO THE GRADING PLAN AND STORM MANAGEMENT SYSTEM ARE STILL PENDING

GRADING PLAN NOTES

FILL TO RAISE DRIVEWAY	+56	CY
CUT TO LOWER PARKING AREA TO 855	-224	CY
CUT TO ESTABLISH RAIN GARDEN RIM AT 854	-65	CY
CUT TO CREATE RAIN GARDEN DEPRESSION ABOVE GRADE	-84	CY
RAIN GARDEN BASIN	-280	CY



GRADING PLAN

1" = 20'

SITE PLAN REVISION 5 APR 2016
SITE PLAN REVIEW 4 APR 2016
PRELIM SITE 9 MAR 2016
PRELIM SITE 1 MAR 2016
EX. FLOOR PLAN 19 DEC 2014
EX. SITE 5 DEC 2014

focus / design
Todd Ballou, Registered Architect
www.focusdesign.us
focusdesign@comcast.net
(734) 276-2110
3300 Berry Rd., Ypsilanti, MI 48198

PROJECT:
8080 GRAND ST.
8080 GRAND ST.
DEXTER, MI

TITLE:
GRADING PLAN

JOB NO:
1431



SHEET NO.

S-4

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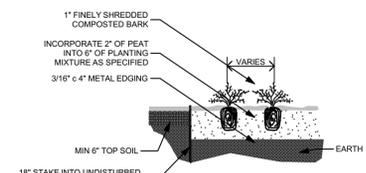
TITLE: **LANDSCAPING PLAN**

JOB NO:
1431



SHEET NO.

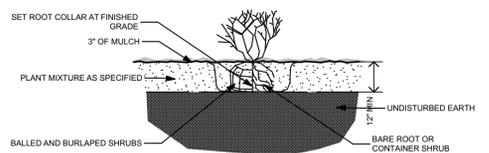
S-5



GROUND COVER / PERENNIAL

3
2
Scale 1" = 20' - 0"

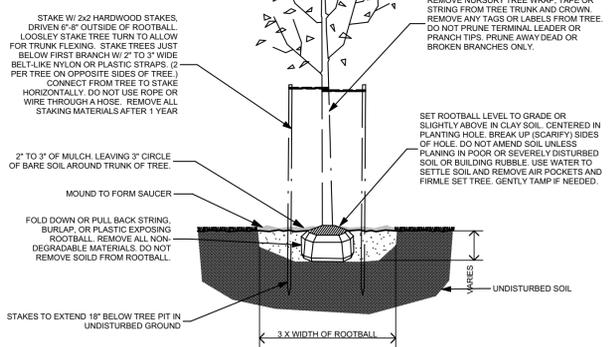
NOTE:
DO NOT PRUNE EVERGREENS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES (THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE.
REMOVE MULCH FROM TOP 1/3 OF ROOTBALL, OR WITH CONTAINER PLANTS, REMOVE POT AND SPLIT BALLS AS SPECIFIED.



SHRUB PLANTING-BED

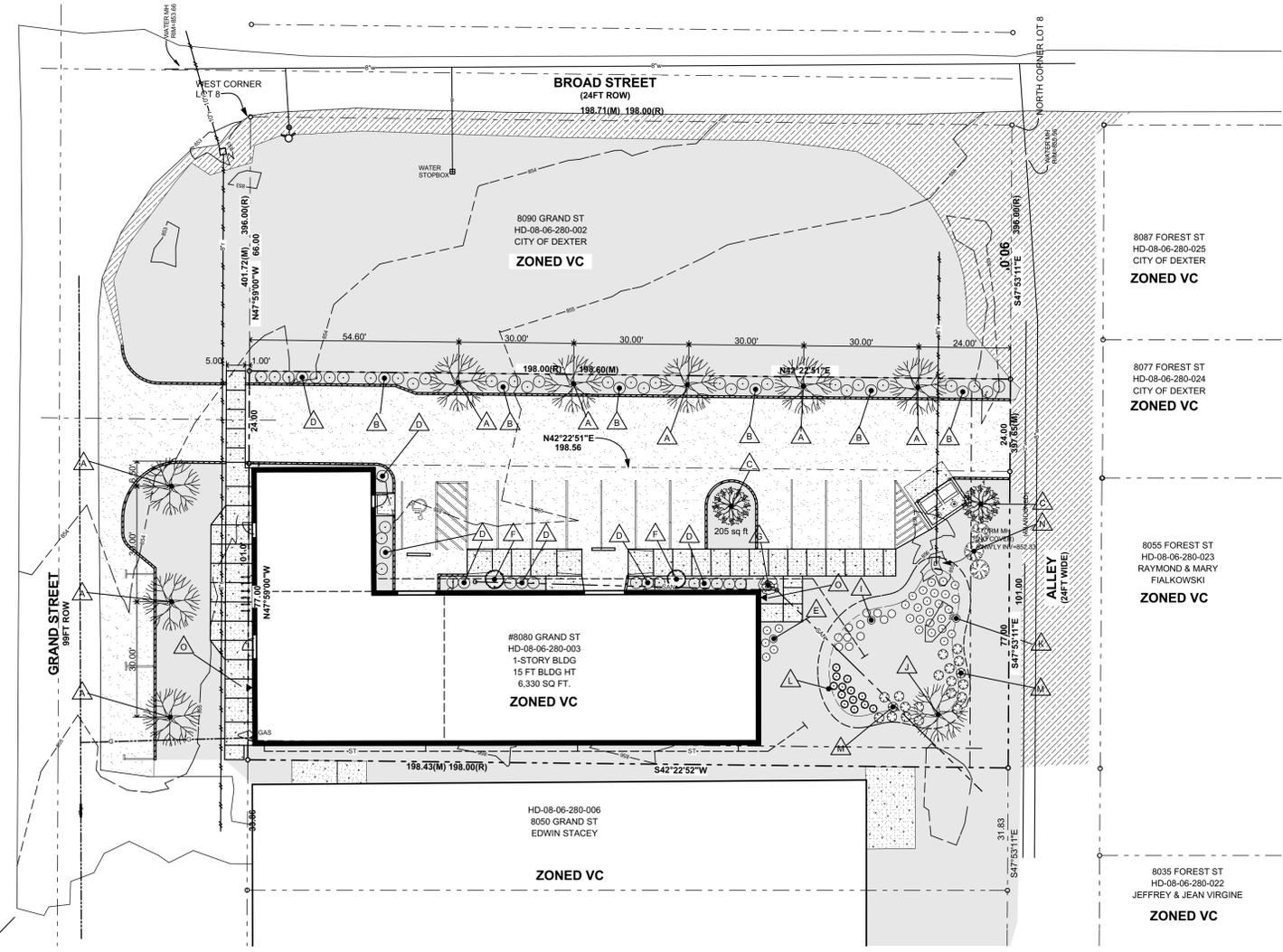
4
2
Scale 1" = 20' - 0"

NOTE:
DO NOT STAKE UNLESS IN HEAVY CLAY SOIL, WIND CONDITIONS, 3" OR GREATER DIAMETER TREE TRUNK, OR LARGE CROWN



DECIDUOUS TREE PLANTING

2
2
Scale 1" = 20' - 0"



LANDSCAPING PLAN



1" = 20'

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED
6.04 PARKING LOT SCREENING NOT REQUIRED- NO PARKING LOT EXPOSED TO PUBLIC STREET FUTURE R.O.W ON NORTH SIDE WILL REQUIRE: 1 CANOPY TREE AT MAX 40 FT SPACING FRONTAGE = 198LF/40 = 5.0 TREES 4 SHRUBS AT 20 FT SPACING FRONTAGE = 198LF/20 x 4 = 40 SHRUBS		7 TREES 35 SHRUBS
6.06 BUFFER LANDSCAPING NEIGHBORING PROPERTIES ARE SAME ZONING- NO BUFFERS REQUIRED		
6.07 ONSITE LANDSCAPING NOT REQUIRED IN VC DISTRICT		
6.08 PARKING LOT LANDSCAPING REQUIRED FOR PARKING LOTS OF 25 SPACES OR 3,000 SF. THIS PARKING LOT IS OVER 3,000SF. 3% OF LOT SHALL BE LANDSCAPED 6,637 SF x .03 = 199 SF	199 SF	205 SF
6.09 STREET TREES 1 CANOPY TREE AT MIN 30 FT SPACING FRONTAGE = 101LF/30 = 3.4 TREES 1 CANOPY TREE AT MAX 40 FT SPACING FRONTAGE = 101LF/40 = 2.5 TREES	3 TREES	3 TREES

HOSE BIBB AT FRONT AND REAR OF BUILDING REQUIRED FOR LANDSCAPE MAINTENANCE.

LANDSCAPE PLAN NOTES

- NO EXISTING SHRUBS OR TREES EXIST, EXCEPT FOR A 17" ELM TREE TO BE REMOVED. ALL PLANTINGS ARE NEW.
- LANDSCAPED AREAS AND PLANT MATERIAL REQUIRED BY THIS ORDINANCE, INCLUDING THE LAWN, SHALL BE KEPT FREE FROM REFUSE AND DEBRIS AND SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. IF ANY PLANT MATERIAL REQUIRED BY THE VILLAGE OF DEXTER ZONING ORDINANCE DIES OR BECOMES DISEASED, IT SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF WRITTEN NOTICE FROM THE CITY, OR WITHIN AN EXTENDED PERIOD AS SPECIFIED IN SAID NOTICE.
- TREE STAKES, GUY WIRES, AND TREE WRAP ARE TO BE REMOVED AFTER ONE (1) YEAR.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED PLANTS WITH A READILY AVAILABLE AND ACCEPTABLE WATER SUPPLY OR WITH AT LEAST (1) OUTLET LOCATED WITHIN ONE HUNDRED (100) FEET OF ALL PLANT MATERIAL TO BE MAINTAINED.

LANDSCAPE SCHEDULE							
ID	Location	COMMON NAME	FORMAL NAME	SIZE	QTY	148 TOTAL	
A	STREET AND DRIVEWAY	AUTUMN BLAZE MAPLE	ACER X FREEMANNII "JEFFSRED"	4-5 INCH	8	5%	
B	DRIVEWAY	EMERALD JEWEL BOXWOOD	BUXUS MICOPHYLLA	18-24 INCH	30	20%	
C	FOUNDATION	DENSE YEW	TAXUS X MEDIA "DENSIFORMIS"	18-24 INCH	7	5%	
B	PARKING LOT	CLUMP SARGENT CRAB	MALUS SARGENTII	3-4 INCH	2	1%	
D	FOUNDATION	DENSE YEW	TAXUS X MEDIA "DENSIFORMIS"	18-24 INCH	18	12%	
E	FOUNDATION	BLUE ELEPHANT HOSTAS	HOSTA ABIQUA "ELEPHANT EARS"	1 GAL	6	4%	
F	FOUNDATION	STAR MAGNOLIA	MAGNOLIA STELLATA	4-5 FT	2	1%	
G	FOUNDATION	GOLD THREAD CYPRESS	CHAMAECYPARIS PISEFERA "FILIFERA AUREA"	15-18 INCH	1	1%	
H	NOT USED				1		
I	RAIN GARDEN	COMMON WOOD REED	CINNA ARUNDINACEA	1 GAL	12	8%	
J	RAIN GARDEN	BURR OAK	QUERCUS MACROCARPA	5-6 FT	1	1%	
K	RAIN GARDEN	DWARF CRANBERRY VIBURNUM	VIBURNUM OPULUS "NANUM"	18-24 INCH	24	16%	
L	RAIN GARDEN	DWARF RED STEMMED BAILEY DOGWOOD	CORNUS SERICEA "BAILEY"	18-24 INCH	13	9%	
M	RAIN GARDEN	SHOWY GOLDENROD	SOLIDAGO SPECIOSA	18-24 INCH	20	14%	
N	DUMPSTER SCREENING	EMERALD GREEN ARBOR VITAE	THUJA OCCIDENTALIS "SMARAGD"	5-6 FT	3	2%	

Prepared For:
 MCDough & Associates
 8640 Ronda Drive
 Canton, MI 48187-2005

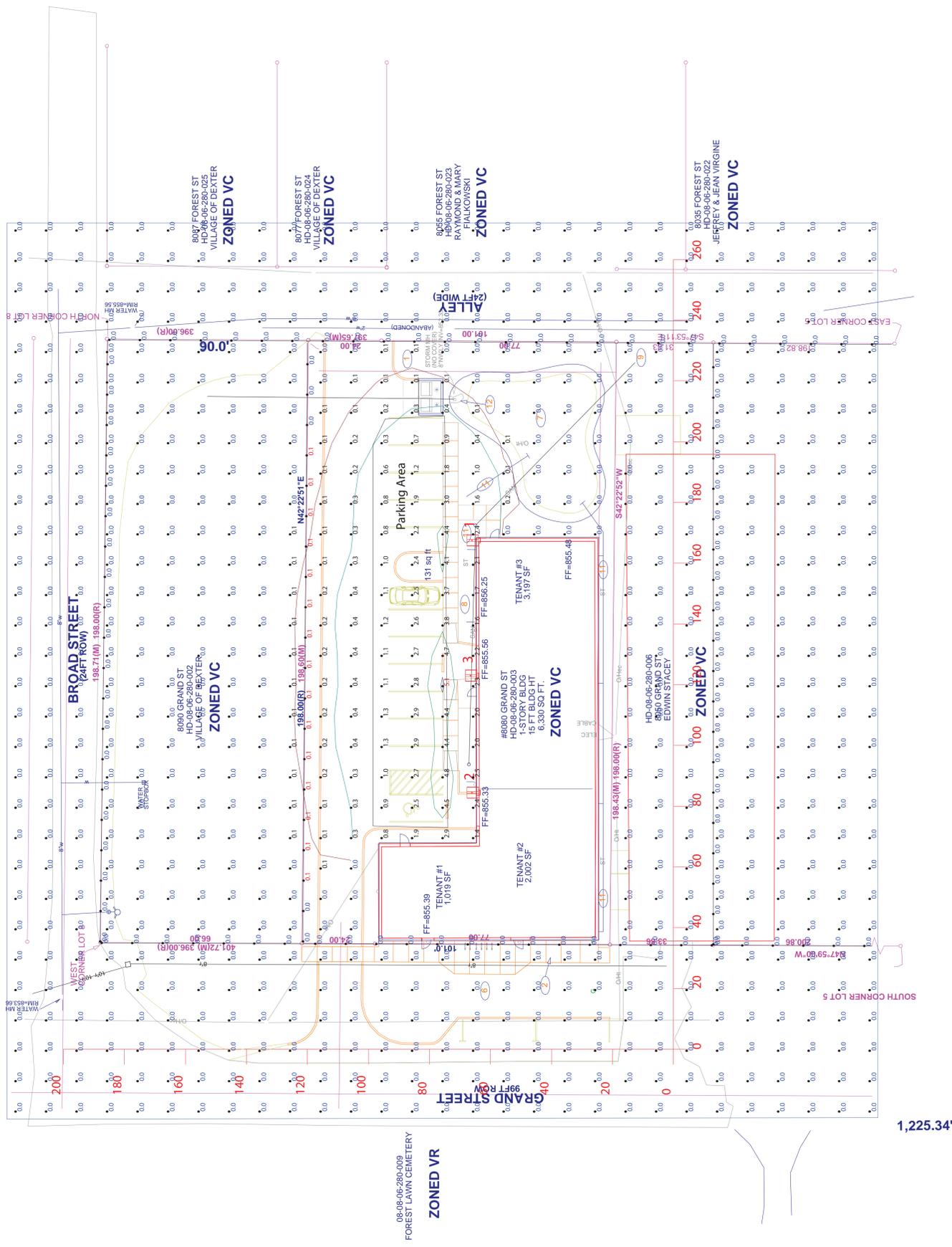
Job Name:
 8080 Grand St
 Dexter MI

SHEET S6

Scale: as noted
 Date: 5/5/2016
 CASE # - 00035871

Filename: Z:\Job Files\ Specification Projects\MCDough & Associates\102075\8080 Grand\Working Files\A\G\8080 Grand Layout - 00035871.AGI

Drawn By: Catherine Barnes, LC
 RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB neither warrants, either implied or stated with regard to actual measured light levels or energy consumption and is not intended for construction nor as being part of a project's construction documentation package.



Scale: 1 inch= 20 Ft.

Luminaire Schedule			
Symbol	Qty	Tag	Label
	3	A	WPLED3T50FX - Cool

Arrangement	Lum. Lumens	LLF	Description	Total Watts	Filename	BUG Rating
SINGLE	4846	1.000	WPLED3T50 (TYPE III)	155.1	WPLED3T50FX - Cool - TTL80298.IE	B1-U0-G2

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	167.5	66	14.5	90	0
2	A	84.5	66	14.5	90	0
3	A	123	66.5	14.5	90	0

Total Quantity: 3



WPLED3T50FX



Ultra high output, high efficiency 50 Watt LED wallpacks. Patent Pending airflow technology ensures long LED and driver lifespan. 5 Year Warranty.
Color: Bronze
Weight: 34.8 lbs



Project: 8080 Grand
Type: A
Prepared By: Catherine Barnes
Date: 4-15-16

Driver Info
Type: 120V
Constant Current: 0.46A
Color Temp: 5000K (Cool)
208V: 0.27A
Color Accuracy: 67 CRI
240V: 0.23A
L70 Lifespan: 100000
277V: 0.20A
Lumens: 4,846
Input Watts: 52W
Efficiency: 87%

LED Info
Watts: 50W
Color Temp: 5000K (Cool)
Color Accuracy: 67 CRI
L70 Lifespan: 100000
Lumens: 4,846
Input Watts: 52W
Efficiency: 87%

Construction
Our environmentally friendly polyester powder coatings are formulated for high durability and long-lasting color, and contains no VOC or toxic heavy metals.
Green Technology:
Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.
Electrical
Driver:
Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%
THD:
7.0% at 120V, 7.4% at 277V
Surge Protection:
6kV surge suppression protection tested in accordance with IEEE/ANSI C82.41.2.
Other
Equivalency:
WPLED™ 50W replaces 200W metal halide arm.
California Title 24:
WPLED50 with available photocell option complies with 2013 California Title 24 building and electrical codes as a commercial outdoor pole-mounted fixture 5 75 Watts. Add /PCT to include a photocell.
Patents:
The WPLED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

IES Classification:
The Type III distribution is ideal for roadway, general parking and outdoor lighting applications. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.
IP Rating:
Ingress Protection rating of IP66 for dust and water.
Ambient Temperature:
Suitable for use in 40°C ambient temperatures.
Cold Weather Starting:
The minimum starting temperature is -40°F/-40°C.
Thermal Management:
Superior patent pending thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.
Housing:
Die cast aluminum housing, lens frame and mounting arm.
Mounting:
Heavy-duty mounting arm with "O" ring seal & stainless steel screws.
Reflector:
Specular vacuum-metallized polycarbonate
Gaskets:
High temperature silicone gaskets

Technical Specifications
Listings
Suitable for wet locations as a downlight.
IESNA LM-79 & IESNA LM-80 Testing:
RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.
Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.
DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P00000794
LED Characteristics
Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.
LEDs:
Multi-chip, high-output, long-life LEDs
Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.
Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.
Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

Construction
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Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpctLr	PtSpctB	Meter Type
Ground_Planar	Illuminance	Fc	0.17	5.1	0.0	N.A.	N.A.	Calculations taken at 0'-0"AFG	10	10	Normal
Property Line 1	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	Calculations taken at 0'-0"AFG	10	N.A.	Horizontal
Property Line 2	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.	Calculations taken at 0'-0"AFG	10	N.A.	Horizontal
Property Line 3	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	Calculations taken at 0'-0"AFG	10	N.A.	Horizontal
Property Line 4	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	Calculations taken at 0'-0"AFG	10	N.A.	Horizontal
Property Line 5	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	Calculations taken at 0'-0"AFG	10	N.A.	Horizontal
Parking Area	Illuminance	Fc	2.36	5.1	0.3	7.87	17.00	Calculations taken at 0'-0"AFG	10	N.A.	Horizontal

NOTES:
* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.
* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
* Mounting height determination is job site specific; our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com
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Prepared For:
McDonough & Associates
8640 Ronda Drive
Canton, NJ 08187-2005

Job Name:
8080 Grand St
Dexter NJ

SHEET

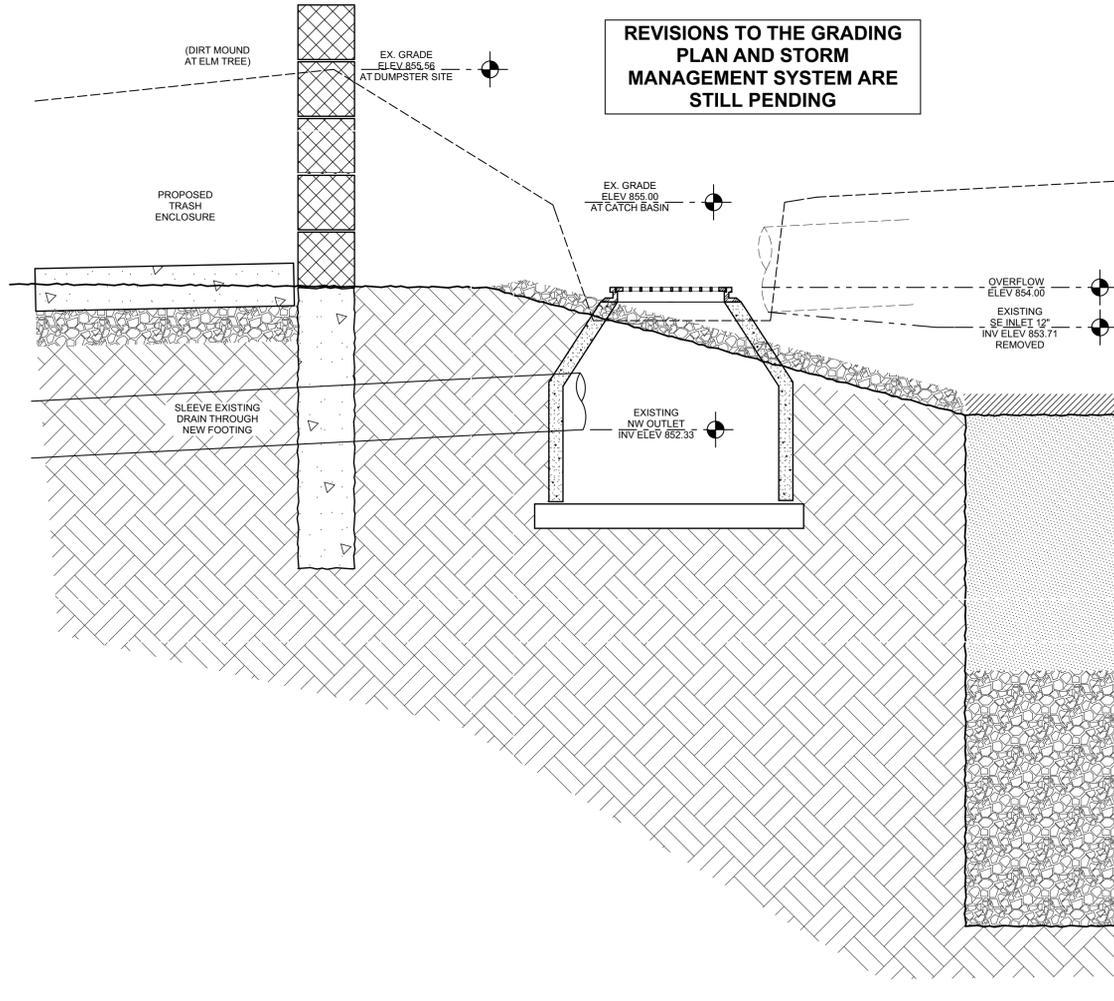
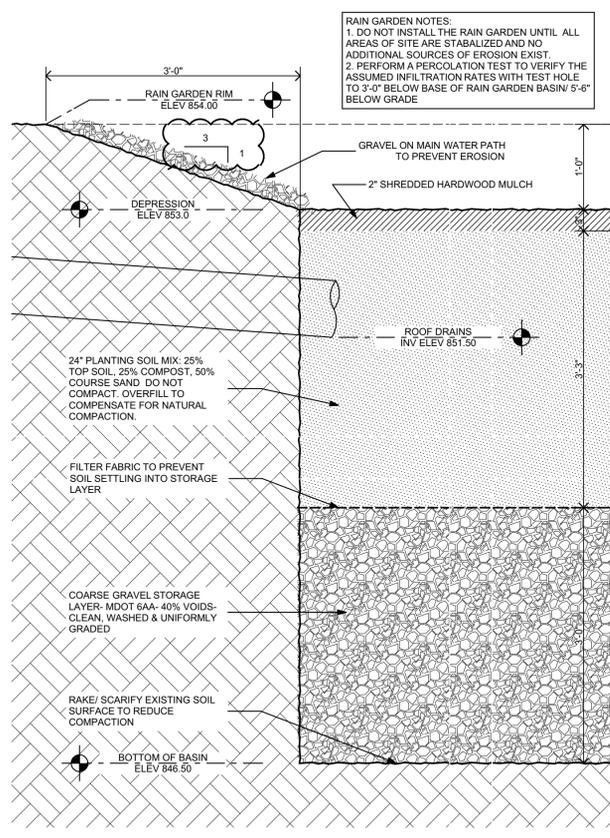
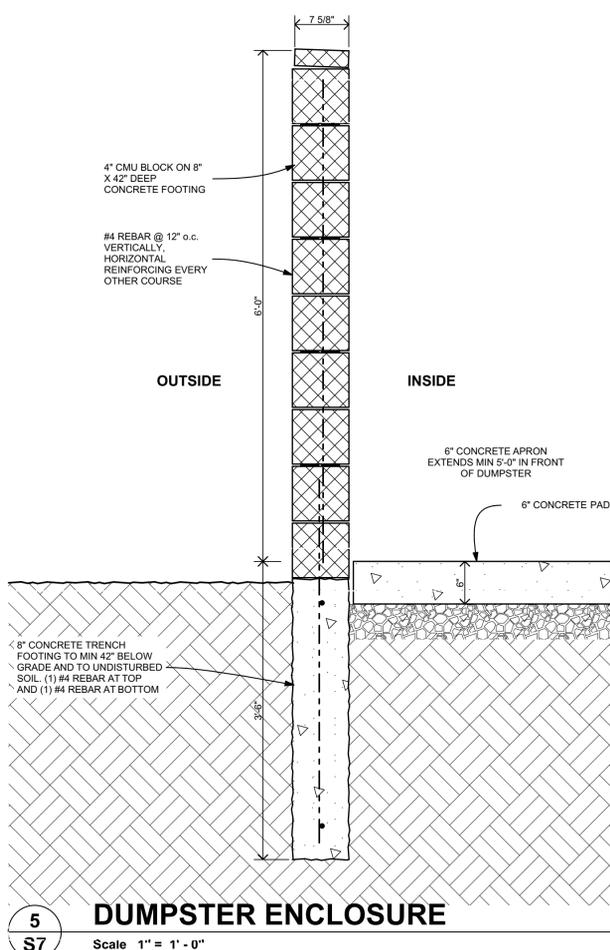
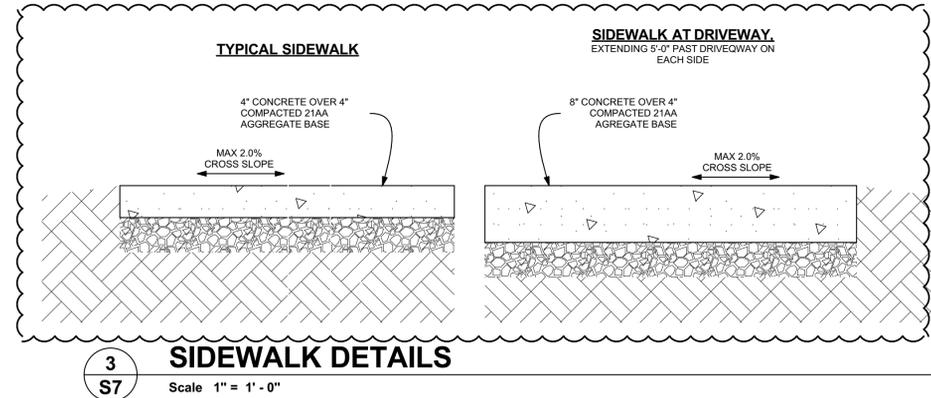
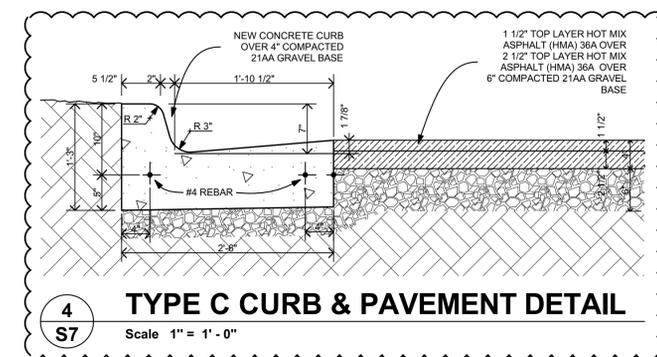
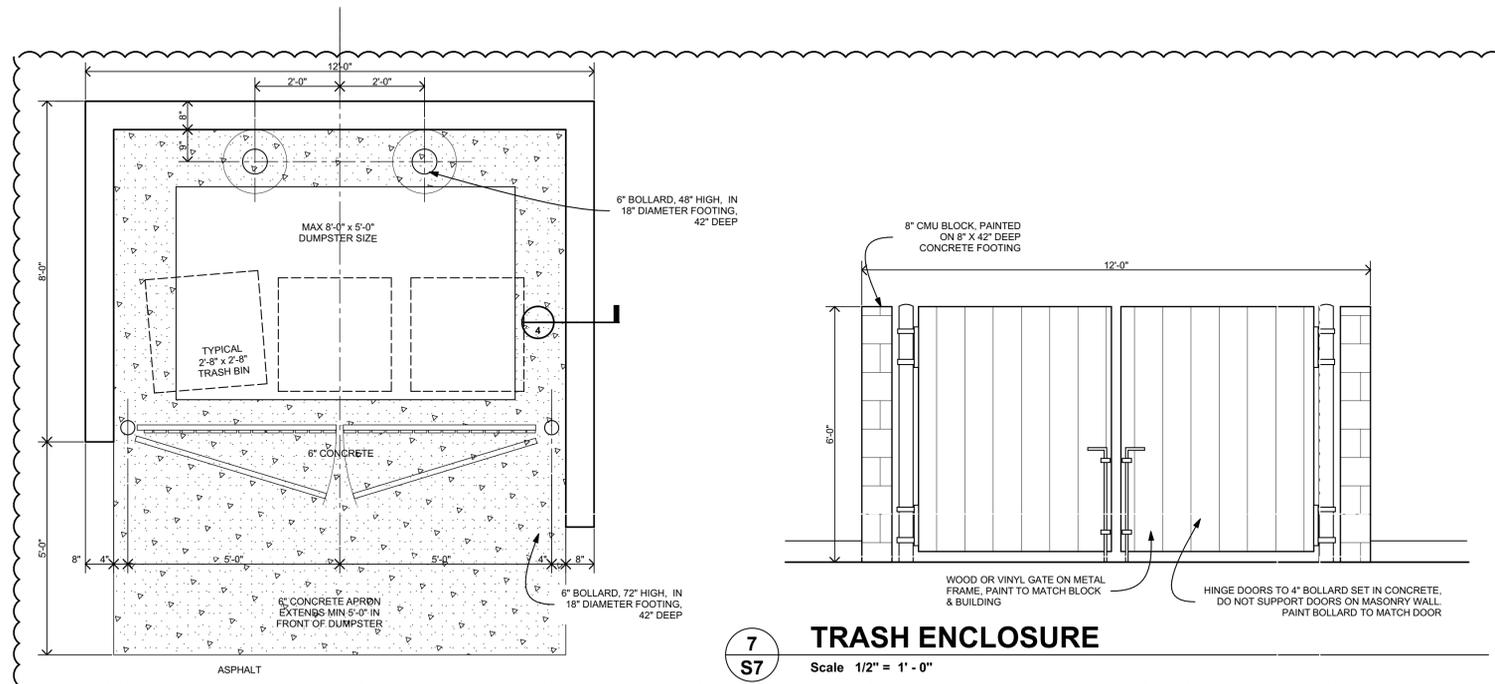
S7

Scale: as noted
Date: 5/5/2016
CASE # - 00035871

Filename: 8080 Grand Layout - 00035871.AGI
Drawn By: Catherine Barnes, LC

Filename: Z:\Job Files\ Specification Projects\McDonough & Associates\102075\8080 Grand\Working Files\AGI\8080 Grand Layout - 00035871.AGI

RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends the design parameters and other information be field verified to reduce variation. RAB neither warrants, either implied or stated, with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of Lighting Design herein as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and prepared by RAB. The Lighting Design is issued in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.



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SITE PLAN REVISION 5 APR 2016
SITE PLAN REVIEW 4 APR 2016
PRELIM SITE 9 MAR 2016
PRELIM SITE 1 MAR 2016
EX. FLOOR PLAN 19 DEC 2014
EX. SITE 5 DEC 2014

focus / design
Todd Ballou, Registered Architect
(734) 276-2110
www.focusdesign.us
focusdesign@comcast.net
3300 Berry Rd., Ypsilanti, MI 48198

PROJECT:
8080 GRAND ST
8080 GRAND ST.
DEXTER, MI

TITLE:
DETAILS

JOB NO:
1431



SHEET NO.

S-8

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SITE PLAN REVISION	5 APR 2016
SITE PLAN REVIEW	4 APR 2016
PRELIM SITE	9 MAR 2016
PRELIM SITE	1 MAR 2016
EX. FLOOR PLAN	19 DEC 2014
EX. SITE	5 DEC 2014

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 focusdesign@comcast.net
 3300 Berry Rd., Ypsilanti, MI 48198

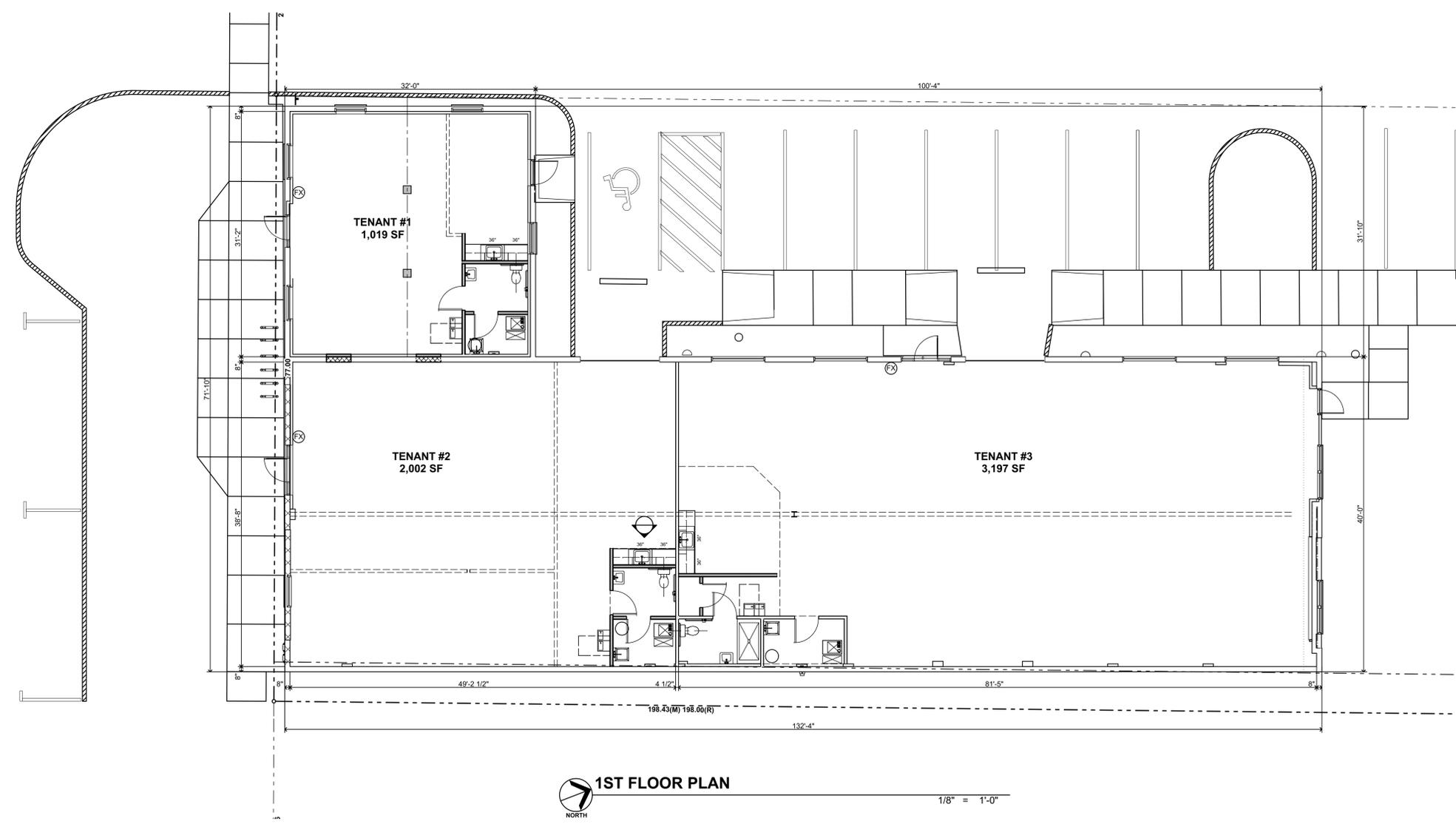
PROJECT:
8080 GRAND ST
 8080 GRAND ST.
 DEXTER, MI

TITLE: **FLOOR PLAN**

JOB NO:
1431



SHEET NO.
A-1



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SITE PLAN REVIEW 4 APR 2016
PRELIM SITE 9 MAR 2016
PRELIM SITE 1 MAR 2016
EX. FLOOR PLAN 19 DEC 2014
EX. SITE 5 DEC 2014

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PROJECT:
8080 GRAND ST
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DEXTER, MI

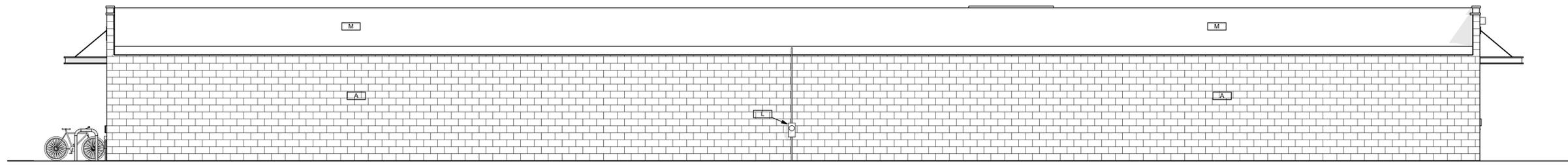
TITLE: **ELEVATIONS**

JOB NO:
1431

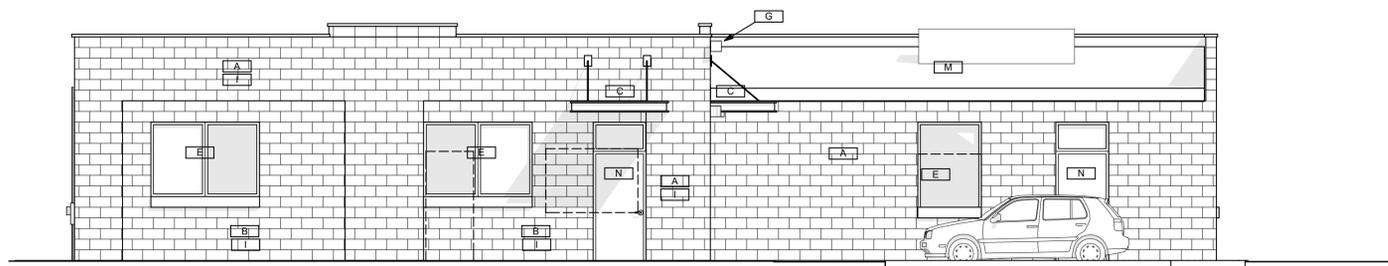


SHEET NO.

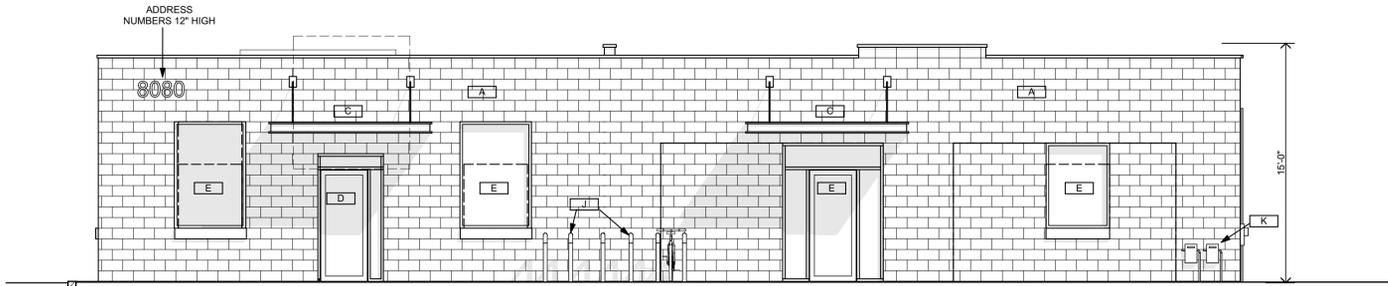
A-2



3
10 **RIGHT ELEVATION** 3/16" = 1'-0"



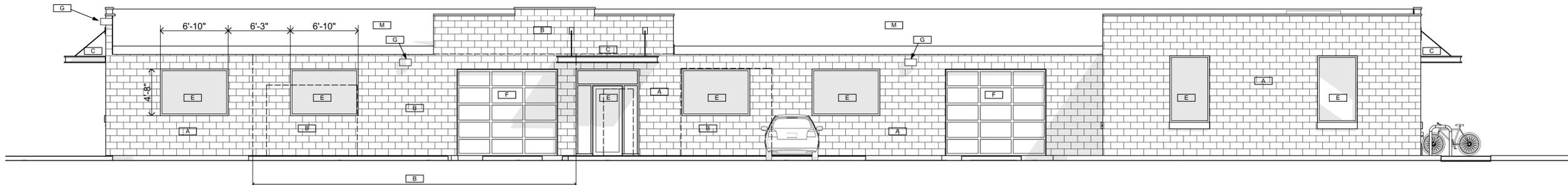
4
10 **REAR ELEVATION** 3/16" = 1'-0"



1
10 **FRONT ELEVATION** 3/16" = 1'-0"

ELEVATION NOTES

- A EXISTING BLOCK, PAINTED, BROKEN, DAMAGED OR MISSING BLOCKS & MORTAR WILL BE REPAIRED AS NEEDED
- B FILL EXISTING OPENING/ INSTALL NEW BLOCK IN THIS AREA, PAINTED
- C STEEL CANOPY
- D EXISTING ALUMINUM STOREFRONT REMAINS
- E NEW ALUMINUM STOREFRONT
- F TRANSLUCENT GLASS OVERHEAD DOOR
- G WPLED3T50FX 50W LED WALL PACK BY RAB LIGHTING
- H REMOVE EX. CORRUGATED METAL AWNING
- I REMOVE EX. VINYL SIDING
- J BIKE HOOPS
- K EX. GAS METERS
- L EX. ELECTRIC METERS
- M EX. MEMBRANE ROOF
- N FLUSH STEEL DOOR



2
10 **LEFT ELEVATION** 3/16" = 1'-0"

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SITE PLAN REVISION 5 APR 2016
SITE PLAN REVIEW 4 APR 2016
PRELIM SITE 9 MAR 2016
PRELIM SITE 1 MAR 2016
EX. FLOOR PLAN 19 DEC 2014
EX. SITE 5 DEC 2014

focus / design
Todd Ballou, Registered Architect
(734) 276-2110
www.focusdesign.us
focusdesign@comcast.net
3300 Berry Rd., Ypsilanti, MI 48198



PROJECT:
8080 GRAND ST
8080 GRAND ST.
DEXTER, MI
TITLE: **RENDERINGS**

JOB NO:
1431



SHEET NO.
A-3

Don Darnell
Darnell Law Offices
7926 Ann Arbor St.
Dexter, Michigan 48130

dondarnell@darnell-law.com
Tel. 734-424-5200
Fax. 734-786-1605

May 2, 2016

Attn: Michelle Aniol
City of Dexter
8123 Main St., 2nd Floor
Dexter, Michigan 48130

Re: 8080 Grand St., Dexter, Michigan
8080 Grand, LLC

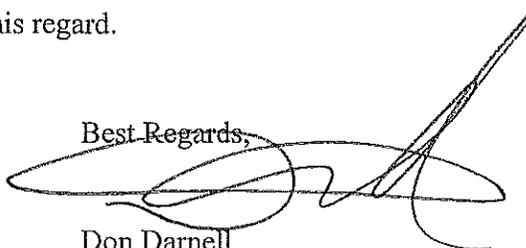
Dear Ms. Aniol:

In our Site Plan Review and Special Use Application submitted April 4, 2016 we requested a special use under §15.03(F) of City of Dexter Zoning Ordinance for units designated as Nos. "2" and "3" on the submitted plans (approximately 2000 and 3200 sq. ft., respectively). This is to request to withdraw the special use application for both of said units.

With regard to both units 2 and 3, this is to request to amend the application to submit both units 2 and 3 as retail establishments under §15.02 of the City of Dexter Zoning Ordinance.

Thank you for your consideration in this regard.

Best Regards,

A handwritten signature in black ink, appearing to read 'Don Darnell', is written over the typed name. The signature is stylized with a large loop and a long, sweeping stroke extending upwards and to the right.

Don Darnell



605 S. Main Street, Ste. 1
Ann Arbor, MI 48104
(734) 662-2200
(734) 662-1935 Fax

Date: April 19, 2015
Revised: May 11, 2016

Combined Site Plan Review For City of Dexter, Michigan

GENERAL INFORMATION

Applicant: 8080 Grand, LLC

Project Name: 8080 Grand

Plan Date: April 4, 2016

Revised Date: April 5, 2016

Location: 8080 Grand Street (HD 08-08-06-280-003)

Zoning: VC, Village Commercial

Action Requested: Combined Preliminary/Final Site Plan Approval

Required Information: Deficiencies are noted in the sections below.

PROJECT AND SITE DESCRIPTION

The applicant is requesting combined preliminary and final site plan approval for rehabilitation of an existing 6,330 square foot structure, and dividing it into three (3) tenant spaces (Unit #1 – 1,019 SF; Unit #2 – 2,002 SF; and Unit #3 – 3,197 SF). Site improvements associated with the building renovation include: reconfiguring and paving parking areas, landscaping, site lighting, rain garden, and trash enclosure. The subject site encompasses 0.46 acres (20,049 SF), and is zoned VC, Village Commercial.

As noted in our previous review, Parcels A and B have been combined and a new legal description has been provided on Sheet S-1.

Aerial Photo



AREA, WIDTH, HEIGHT, SETBACKS

The subject site is zoned VC, Village Commercial. The dimensional requirements of the VC district are as follows:

	Required	Proposed	Compliant
Lot Area	-	0.46 acres (20,049 s.f.)	Complies
Lot Width	-	101 feet	Complies
Building Setbacks			
Front:	15 feet maximum	0.82 feet (existing)	Complies
Side:	5 feet / 10 feet total	3.76 feet (existing) / 28.5 feet (existing)	East side setback is an existing non-conformity.
Rear:	10 feet	64.67 feet (existing)	Complies

Building Height	3 stories / 45 feet	1 story / 15 feet (existing)	Complies
Maximum Lot Coverage	80%	31.1% (existing)	Complies

As presented, the applicant is not proposed any additions to the existing structure. All dimensional requirements of the VC district have been met with the exception of the existing eastern side setback non-conformity.

Items to be addressed: None.

NATURAL FEATURES

All proposed improvements are proposed within the built portions of the site. No natural features will be impacted by the proposed site improvements.

Items to be addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

Building location and site arrangement will not be modified. However, improvements to the driveway, parking lot, pedestrian access, and stormwater management will greatly enhance the aesthetics and usability of the site.

Items to be addressed: None.

PARKING, LOADING

The applicant is proposing office and retail uses to occupy the site. General retail uses and office uses both require 3.0 spaces per 1,000 square feet of gross floor area.

	Required	Total Parking Provided
Retail / Office (3.0 per 1,000 s.f. – 6,330 SF = 19 spaces)	19	12
Barrier Free	1	1
Loading Space	0	0

Based upon the proposed office and retail uses proposed 19 parking spaces are required. The Parking Table provided on Sheet S-1 notes 13 spaces are provided on-site; however, we count 12 spaces along the west building elevation. Two (2) additional on-street parallel spaces are also proposed along Grand Street (not reflected in on-site parking calculations in the above table).

Further, Section 5.03 notes, *the Planning Commission encourages the following schedule to be used as maximum requirements unless an applicant can demonstrate a need for additional parking; excessive parking diminishes opportunities for new buildings and new businesses, thereby reducing business activity and commercial viability of businesses within the Village Commercial district. In addition, the Planning Commission strongly encourages participation in the voluntary public parking program within the VC District, which provides more efficient land usage, fewer private curb cuts, improved safety, and higher density.*

We have outlined the above information since it is encouraged by the Planning Commission; however, as proposed we find the improvements to the parking area fit the built environment of the site, and will provided substantial improvement.

Six (6) bicycle hoops are proposed along the front (south) building elevation adjacent to the proposed sidewalk.

Items to be addressed: *Update Parking Calculation Table to represent correct number of parking spaces provided on the plan.*

SITE ACCESS AND CIRCULATION

The subject site is currently accessed via an access drive from Grand Street. It appears the alley (north) can also access the site via a gravel path. As proposed, the site's existing concrete driveway from Grand Street will be utilized and extended north to the alley providing through access.

The applicant indicated previously deliveries are anticipated to be handled via box truck. A note on Sheet S-1 indicates trash will be delivered to the curb for pick-up as the enclosure is not designed nor intended for truck pick-up.

Items to be addressed: *None.*

SIDEWALKS

A new 6-foot wide sidewalk is proposed within the Grand Street right-of-way adjacent to the front (south) building elevation. The proposed sidewalk will traverse the extent of the lot width.

Items to be addressed: *None.*

LANDSCAPING

A landscape plan is provided on Sheet S-5 of the plan set.

Composition – Section 6.02A. notes *no more than 25% of any one genus or 10% of any one species per site plan*. As presented on the Planting Schedule (Sheet A1.01), the composition of the proposed plantings appears adequate.

Parking Lot Screening – The parking lot is located behind the front façade (south elevation) of the building, and is not visible from Grand Street. No additional parking lot screening from Grand Street is required.

Interior Parking Lot Landscaping – Based on the applicant's calculation, 199 square feet of interior parking lot landscaping is required (6,637 SF of pavement x 3% = 199 SF). One (1) parking lot island is proposed encompassing 205 square feet of interior parking lot landscaping consisting of one (1) canopy tree.

Buffer/Screen – Section 6.05 indicates no buffer or screen is required in the VC district. Canopy trees and shrubs are provided along the west property line.

Site Landscaping – No site landscaping is required on VC zoned properties. Tree and shrub plantings are proposed in coordination with the rain garden located at the northeastern corner of the site.

Greenbelt / Street Trees – One (1) street tree is required for every 30-40 feet of lineal frontage to be placed between the sidewalk and the curb. With 101 feet of frontage three (3) trees are required, and have been provided.

Tree Removal/Replacement – A 17" Elm tree located in the northwest portion of the site will be removed to accommodate the proposed site improvements. Since Elm trees are listed as a tree not permitted (Section 6.11 C.) no replacement is required.

Waste Receptacle – The dumpster is located at the northeast end of the proposed parking lot. Detail of the proposed dumpster enclosure is provided on Sheet S-7. The dumpster enclosure is a masonry enclosure with wood or vinyl gate. As noted previously, trash will be moved to the curb for pick-up.

Items to be addressed: *None.*

LIGHTING

Based on the information provided, three (3) wall-mounted light fixtures are proposed along the west building elevation. Sheet S-6 demonstrates lighting levels of 0.0 foot-candles along Grand Street (south elevation) and east building elevation. A foot-candle reading of 0.1 foot-candles is demonstrated along the along the north and west property lines meeting the standards outlined in Section 3.19.

Further, Section 3.19 E. 3. Requires all fixtures to have full cutoff shades with the light source recessed into the fixture so as not be of visible from off site. As provided, the proposed fixture (detail on Sheet S7) is fully-shielded.

Items to be addressed: None.

SIGNS

No signage is proposed as part of this site plan review.

Items to be addressed: None.

FLOOR PLANS AND ELEVATIONS

Floor plans as well as all elevations, and a color rendering of the site have been provided. Exterior materials will remain as currently constructed (masonry). We note the west elevation (labeled "left" on Sheet A-2) will maintain two (2) garage bays with overhead doors. The applicant noted the garage bays are an original component of the structure, and will be upgraded to an attractive glass door. There is potential for access for various types of uses; however, auto-related uses are not anticipated.

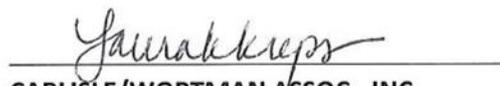
Items to be addressed: None.

RECOMMENDATIONS

Based upon the information provided, we recommend the following items be addressed to the satisfaction of the Planning Commission prior to approval the combined preliminary and final site plan for 8080 Grand Street as presented:

1. Update Parking Calculation Table to represent correct number of parking spaces provided on the plan.


 CARLISLE/WORTMAN ASSOC., INC.
 Douglas J. Lewan, PCP, AICP
 Principal


 CARLISLE/WORTMAN ASSOC., INC.
 Laura K. Kreps, AICP
 Associate

241-1602

cc: 8080 Grand, LLC, 7926 Ann Arbor Street, Dexter, MI 48130
 Todd Ballou, 3300 Berry Road, Ypsilanti, MI 48198



ARCHITECTS. ENGINEERS. PLANNERS.

May 19, 2016

CITY OF DEXTER
8140 Main Street
Dexter, MI 48130

Attention: Ms. Michelle Aniol (Sent via Electronic Mail)
Community Development Manager

Regarding: 8080 Grand Street
Combined Site Plan Review No. 2
OHM JN: 0130-16-1031

Ms. Aniol:

The applicant, Don Darnell, is proposing to perform site upgrades at an existing building located at 8080 Grand Street. We have reviewed the site plan in accordance with the City of Dexter Engineering Standards. Based on the information presented, we cannot recommend approval at this time. However, we also understand that the applicant had not secured an engineer at the time of submittal but has done so since then. We are comfortable that the noted issues can be resolved working with the design engineer before a final recommendation to City Council is made. OHM will provide an additional response to Council and the Planning Commission once acceptable revised plans are provided. The revised plans will need to address the following items:

PUBLIC UTILITIES

1. The Star Magnolia plantings depicted with the letter "F" on the west side of the building appear to be shown directly over the sanitary sewer lead. It is recommended that these plantings are relocated such that they are not over existing sewer pipe.

PAVING

2. The asphalt cross-section shall be noted as 13A asphalt on 8 inches of 21AA crushed limestone.
3. The driveway approach appears to be less than the required 25-foot wide minimum. The driveway approach may need to be adjusted to comply with this requirement.

STORMWATER MANAGEMENT

It is noted that revisions to the grading plan and storm management system are still pending, however we reiterate the following comments for clarity:

4. The plans provide information on the existing and proposed impervious surface. This shall be updated to include turf areas. In addition, the rain garden area shall be listed as a C factor of 1.0.
5. A drainage area map delineating drainage areas and data listing the total area and "C" factor for each shall be included in the plans.
6. Runoff from the entire property must be contained. The grades on the south side may need to be altered such that drainage is toward the rain garden.

7. Proposed spot grades with curb labels do not currently match the curb location. All elevations and locations of grades shall be updated and shall correspond with contours.
8. Calculations shall be shown that follow the WCWRC Rules and Guidelines and design requirements for stormwater management systems.
9. The plan currently assumes infiltration within the rain garden. The applicant shall perform in-situ testing in this location and provide a report of results. The applicant shall contact OHM prior to performing the testing.
10. The existing outlet structure and pipe must be investigated to ensure it is functioning properly, or a new structure and pipe must be installed.
11. The roof drains shall outlet at an elevation above the rain garden so that water is allowed to filter along the surface to the garden. Erosion control measures may be required at the outlet depending on exit velocities.
12. Pipe calculation showing capacity, design event flow rates, velocity and hydraulic grade line shall be provided for the proposed roof drains pipes and discharge sewer.
13. The rain garden plantings listed on Sheet S-5 do not appear to be in the list of the WCWRC Rules. Information on the plantings shall be provided to ensure they are able to tolerate saturated spring conditions and dry summer conditions.
14. A maintenance plan for the rain garden shall be provided on the plan that includes maintenance activities, dates and party responsible for performing the work. Additionally, #2 under the Landscape Plan Notes shall specify the party responsible for maintaining the landscape areas and planting material in a healthy growing condition.
15. A drainage easement shall be secured over the outlet pipe (currently shown to pass over the property to the west) to ensure that proper conveyance for this site can be maintained.

SANITARY SEWER

16. It is recommended that the proposed sewer lead is 6-inch PVC and that it is constructed in a manner that does not traverse neighboring property. If an alternative alignment is not possible, an easement shall be obtained from the neighboring property.

GENERAL

17. The Legal Descriptions for Parcel A and Parcel B on Sheet S-1 appear to contain errors. Under Parcel A; on line 4, 198.50 feet should be 198.60 feet; on line 10, 4,775 sq feet should be 4,766 sq feet. Under Parcel B; on line 10, 16,284 sq feet should be 15,284 sq feet.
18. References to the Village of Dexter shall be changed to state City of Dexter. References are located on: Sheet S-4, #2 under the Sanitary Sewer Notes; Sheet S-5, #2 under the Landscape Plan Notes; Sheet S-6, the property descriptions to the north and west of 8080 Grand Street.
19. NAVD '88 Datum benchmarks shall be provided. The applicant shall also note that a digital as-built will be required after construction and that all information shall be drawn to state plane coordinates (NAD '83 – Michigan South Zone – International Feet).
20. The submitted plans shall be a complete set; stamped and signed by a professional engineer licensed in the State of Michigan.
21. There appears to be an incorrect spelling on Sheet S-1, in the combined legal description “Decter” should be “Dexter” and on Sheet S-5, #4 under the Landscape Plan Notes.
22. A cover letter indicating how each comment in this letter was addressed should be submitted with the revised plans by the Applicant.

The above comments should be addressed prior to submitting for an additional site plan review. Should you have any questions about this review, please feel free to contact me at 313-481-1252 or via e-mail at pat.droze@ohm-advisors.com.

Sincerely,
OHM Advisors



Patrick M. Droze, P.E.
Project Engineer

cc: Courtney Nicholls, City Manager (e-mail)
Dan Schlaff, Public Services Superintendent (e-mail)
Don Dettling, Dexter Area Fire Department (e-mail)
Don Darnell, 8080 Grand, LLC, 7926 Ann Arbor Street, Dexter, MI 48130
Todd Ballou, Focus/Design, 3300 Berry Rd., Ypsilanti, MI 48198
File

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Dexter Area Fire Department

8140 MAIN STREET • DEXTER, MICHIGAN • 48130-1044
TELEPHONE: (734) 426-4500

FIRE CHIEF
ROBERT L. SMITH

May 11, 2016

Michelle Aniol
Community Development Manager
City of Dexter
8140 Main St.
Dexter, MI 48130

Subject: Plan review of: 8080 Grand St.
Plans dated: April 5, 2016

Dear Mrs. Aniol:

The Dexter Area Fire Department (DAFD) has reviewed plans submitted to our Department. We have reviewed these plans with Fire Safety and Prevention in mind. Our resources are the City's Fire Protection Ordinance and City's Engineering Standards. Below are our comments.

DAFD Comments: It appears there maybe not enough parking for employees and customers "appears" of course this all dependent on tenant (s) occupancies.

Village of Dexter Engineering Standards (as it refers to fire hydrant location & fire department connections): Purchase Storz Connection for fire hydrant that protects this property (Broad St. & Grand St.)

Fire Protection Ordinance: Requirements of this Ordinance will need to be incorporated in future plans before approval: related but not limited to: **Knox Box** International Fire Code (IFC) Section 506, **Addressing** IFC Section 505, **Minimum Roadway Widths** IFC Section D 103, **Fire Lane Signage** IFC Section 503.3 & D 103, **Portable Fire Extinguishers** IFC Section 906 **Fire Suppression, Fire Alarm Systems and Kitchen Fire Suppression System** (if Applicable) IFC 105.7 & Washtenaw County Building Department.
DAFD Requirements: 1) Purchase and Install a Knox Box 2) Proper Addressing of building 3) Purchase and installation of Hand Held Fire Extinguishers 4) install No Parking Fire Lane sign (s) along driveway

DAFD Recommendations: None

Donald Dettling
Fire Inspector

Cc/

Fire Chief Robert L. Smith
City Mgr. Courtney Nicholls